

**August 18, 2020
Planning & Zoning
Regular Meeting
6:30 p.m.**



R.G. Reeder, Chairman
Bill Bonham, Vice Chairman
Bill Latimer
Greg Smith

AGENDA
City of Dickinson
**PLANNING AND
ZONING COMMISSION
REGULAR MEETING**

Leslie Boudwin
Deborah Fortner
Marjorie Morgan

August 18, 2020

NOTICE is hereby given of a **REGULAR MEETING** of the Planning and Zoning Commission for the City of Dickinson, County of Galveston, State of Texas, to be held on **Tuesday, August 18, 2020, at 6:30 p.m.** at: 4403 Highway 3, Dickinson, Texas 77539 for the purpose of considering the following numbered items.

In accordance with order of the Office of the Governor issued March 16, 2020, the Planning & Zoning Commission of the City of Dickinson, Texas will **conduct the meeting by telephone and online video conference** in order to advance the public health goal of limiting face-to-face meetings (also called “social distancing”) to slow the spread of the Coronavirus (COVID-19).

The public may use any of the following toll-free dial-in numbers to participate telephonically in the meeting: 877-853-5257, 888-475-4499, 833-548-0276, or 833-548-0282, Meeting ID: 928 3810 7892, Passcode 77539.

The public may use the following Uniform Resource Locator (URL) to participate by video conference in the meeting: <https://zoom.us/j/92838107892> Meeting ID: 928 3810 7892, Passcode 77539.

The Planning and Zoning Commission of the City of Dickinson, Texas, reserves the right to meet in a closed session on any of the below items should the need arise and if applicable pursuant to authorization by Title 5, Chapter 551, of the Texas Government Code.

- ITEM 1.) CALL TO ORDER AND CERTIFICATION OF A QUORUM:**
Roll call of members
Invocation
Pledge of Allegiance
- ITEM 2.) CONSIDERATION AND POSSIBLE ACTION CONCERNING:** Approval of the Minutes of the May 19, 2020 Regular Meeting.
- ITEM 3.) CONDUCT A PUBLIC HEARING CONCERNING: SUP 2020-0470,** A Request for a Specific Use Permit On Approximately 2.001 Acres, for a “Restaurant That Serves Alcohol” and a “Restaurant That Has a Drive-Through Window” in the “NC” (Neighborhood Commercial) Zoning District, Legally Described As Dickinson Crossing (2006) Abstract 19, Lot A, 2.001 Acres, Generally Located South of FM 517 and West of Evergreen, With the Address Being 628 FM 517 W, Dickinson, Texas 77539.
- A. Staff Presentation
 - B. Applicant’s Statement

- C. Those in Favor
- D. Those Opposed
- E. Applicant Rebuttal
- F. Adjourn Public Hearing

ITEM 4.) CONSIDERATION AND POSSIBLE ACTION CONCERNING: SUP 2020-0470, A Request for a Specific Use Permit On Approximately 2.001 Acres, for a “Restaurant That Serves Alcohol” and a “Restaurant That Has a Drive-Through Window” in the “NC” (Neighborhood Commercial) Zoning District, Legally Described As Dickinson Crossing (2006) Abstract 19, Lot A, 2.001 Acres, Generally Located South of FM 517 and West of Evergreen, With the Address Being 628 FM 517 W, Dickinson, Texas 77539.

ITEM 5.) CONSIDERATION AND POSSIBLE ACTION CONCERNING: A Request for Site Development Plan Approval for Road and Bridge Department Facilities Located on Property Legally Described As ABST 11 PAGE 7 A FARMER SUR TR 25 4.883 ACRS, Generally Located East of Highway 3 and South of Mowat Street, With the Address Being 5115 Highway 3, Dickinson, Texas 77539.

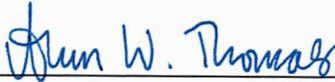
ITEM 6.) CONSIDERATION AND POSSIBLE ACTION CONCERNING: A Request for Site Development Plan Approval for a Retail Building Located on Property Legally Described As BORDEN'S GULLY (2007) ABST 19, RES E (5-0), ACRES 1.401, Generally Located North of FM 517 and East of Borden Gully Drive, With the Address Being 301 West FM 517, Dickinson, Texas 77539.

ITEM 7.) CONSIDERATION AND POSSIBLE ACTION REGARDING: Plat Approval Request 20200540, A Request for Preliminary Plat Approval for Peacock Isles, a Subdivision of Approximately 13.006 Acres Legally Described as ABST 19 PERRY & AUSTIN SUR PT OF LOTS 157,184 & ABDN RD (0-3) DICKINSON ADDN D, On Property Zoned “CR” (Conventional Residential) Consisting Of 53 Lots, 2 Blocks And 1 Reserve, In The City Of Dickinson, Galveston County, Texas, With the Current Address for the Property Being 2010 East FM 517.

ITEM 8.) ADJOURN

CERTIFICATION

This is to certify that a copy of the notice of a regular meeting of the Planning and Zoning Commission for **Tuesday, August 18, 2020**, was posted on the bulletin board at Dickinson City Hall, 4403 State Highway 3, Dickinson, Texas, on this the 14th day of August 2020, prior to 6:30 p.m.



Alun W. Thomas, City Secretary



In compliance with the Americans With Disabilities Act, we will provide for reasonable accommodations for disabled persons attending our meetings. Requests should be received at least 24 hours prior to the scheduled meeting by contacting the City Secretary's office at (281) 337-6217.

SUPPLEMENTAL NOTICE OF MEETING BY TELEPHONE CONFERENCE:

In accordance with order of the Office of the Governor issued March 16, 2020, the Planning and Zoning Commission of the City of Dickinson, Texas will conduct the regular meeting scheduled at 6:30 p.m. on Tuesday, August 18, 2020 at 4403 Highway 3, Dickinson, Texas 77539 by telephone conference in order to advance the public health goal of limiting face-to-face meetings (also called "social distancing") to slow the spread of the Coronavirus (COVID-19). [There will be no public access to the location described above.]

This supplemental written notice, the meeting agenda, and the agenda packet, are posted online at <http://www.ci.dickinson.tx.us/agendacenter>.

The public may use any of the following toll-free dial-in numbers to participate telephonically in the meeting: 877-853-5257, 888-475-4499, 833-548-0276, or 833-548-0282, Meeting ID: 928 3810 7892, Passcode 77539.

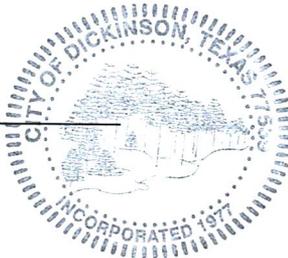
The public may use the following Uniform Resource Locator (URL) to participate by video conference in the meeting: <https://zoom.us/j/92838107892> Meeting ID: 928 3810 7892, Passcode 77539.

The public will be permitted to offer public comments telephonically as provided by the agenda and as permitted by the presiding officer during the meeting.

A recording of the telephonic meeting will be made, and will be available to the public in accordance with the Open Meetings Act upon written request.



Alun W. Thomas, City Secretary



Planning & Zoning Commission

ITEM 1

CALL TO ORDER

Invocation

Given by: _____

Pledge of Allegiance

Given by: _____

**PLANNING AND ZONING MEETING
ATTENDANCE LIST**

Date: August 18, 2020

Commissioners	Position	Present	Absent
R.G. Reeder	Chair	_____	_____
Bill Bonham	Vice-Chair	_____	_____
Greg Smith	Regular	_____	_____
Leslie Boudwin	Regular	_____	_____
Deborah Fortner	Regular	_____	_____
Bill Latimer	Regular	_____	_____
Marjorie Morgan	Regular	_____	_____
_____	Alternate	_____	_____
Others in Attendance		Present	Absent
Council Member Sean Skipworth		_____	_____
City Attorney David Olson		_____	_____
City Secretary Alun Thomas		_____	_____

Planning & Zoning Commission

ITEM 2

R.G. Reeder, Chairman
Bill Bonham, Vice Chairman
Bill Latimer
Greg Smith

MINUTES
City of Dickinson
PLANNING AND
ZONING COMMISSION
REGULAR MEETING

Leslie Boudwin
Deborah Fortner
Marjorie Morgan

May 19, 2020

The Planning and Zoning Commission of the City of Dickinson, Texas met in a duly called and announced **Regular Meeting** on **Tuesday, May 19, 2020**, at **6:30 p.m.** In accordance with order of the Office of the Governor issued March 16, 2020, the Planning and Zoning Commission of the City of Dickinson, Texas conducted the meeting by telephone conference in order to advance the public health goal of limiting face-to-face meetings (also called “social distancing”) to slow the spread of the Coronavirus (COVID-19). The meeting was held for the purpose of considering the following items:

ITEM 1.) CALL TO ORDER AND CERTIFICATION OF A QUORUM:

Roll call of members
Invocation
Pledge of Allegiance

Chairman Reeder called the meeting to order at 6:30 p.m. City Secretary Alun Thomas called roll and certified a quorum. Planning and Zoning Commission Members present were as follows: Chairman R.G. Reeder, Vice-Chairman Bill Bonham, and Commission Members Deborah Fortner, Bill Latimer, and Marjorie Morgan. Planning and Zoning Commission Members Greg Smith and Leslie Boudwin were absent. Also present were Director of Community Services Kola Olayiwola and Chief Building Official S. R. Burgess.

ITEM 2.) CONSIDERATION AND POSSIBLE ACTION CONCERNING: Approval of the Minutes of the October 15, 2019 Regular Meeting.

Commission Member Bonham made a motion to approve the minutes of the October 15, 2019 regular meeting, and Commission Member Latimer seconded the motion. There being no discussion, Chairman Reeder called for a vote.

VOTE:

5 AYES (Bonham, Fortner, Latimer, Morgan, Reeder)
0 NAYS

MOTION PASSED

ITEM 3.) CONSIDERATION AND POSSIBLE ACTION CONCERNING: Approval of the Minutes of the December 3, 2019 Special Meeting.

Commission Member Fortner made a motion to approve the minutes of the December 3, 2019 special meeting, and Commission Member Latimer

seconded the motion. There being no discussion, Chairman Reeder called for a vote.

VOTE:

5 AYES (Bonham, Fortner, Latimer, Morgan, Reeder)

0 NAYS

MOTION PASSED

- ITEM 4.) CONDUCT A PUBLIC HEARING CONCERNING: SUP-20-0125, A Request for a Specific Use Permit, for a “Boat Service Establishment” Located at 5205 E FM 517 Unit E, Dickinson, Texas 77539, Currently Zoned General Commercial “GC”.**

Chairman Reeder opened the public hearing at 6:33 p.m.

A. Staff Presentation

Chief Building Official S. R. Burgess presented the item and gave a brief history of the property’s use as a boat repair facility. Mr. Burgess said that the Applicant has made similar requests for a Specific Use Permit in the past, but this one differs from those in that it narrows the scope by the amount of area that may be used for boat service. Fire Marshal Burt Heddles conducted a review of the property, Mr. Burgess said, and he had no objections to the Applicant submitting this request for a Specific Use Permit. Previous requests were denied at least in part by the presence of several old watercraft that had remained on the property for years. Mr. Burgess said that the large sailboat and all three other boats have now removed from the property, and staff now has no objections to the issuance of the requested Specific Use Permit.

B. Applicant’s Statement

Arthur DiNicholantonio, 1611 Lake Arbor Drive, El Lago, Texas – Mr. DiNicholantonio said that he has been trying to start a business on his property for four years. He has now addressed every objection that the City has raised so far and would like to be granted a Specific Use Permit. He said that all boats will be kept on trailers, and that the property will not be used for storage.

C. Those in Favor

None.

D. Those Opposed

None.

E. Applicant Rebuttal

None.

F. Adjourn Public Hearing

Chairman Reeder adjourned the public hearing at 6:40 p.m.

ITEM 5.) CONSIDERATION AND POSSIBLE ACTION CONCERNING: SUP-20-0125, A Request for a Specific Use Permit, for a "Boat Service Establishment" Located at 5205 E FM 517 Unit E, Dickinson, Texas 77539, Currently Zoned General Commercial "GC".

The Commission discussed the request for a Specific Use Permit, with Commission Member Fortner noting that there is still one derelict boat on a trailer on the property. Mr. DiNicholantonio said that the boat is not derelict; it is owned by a friend of his and he lets his friend keep his boat on the property as a favor. In response to a question from the Commission, Mr. DiNicholantonio said that he anticipated having two to three boats on the property for repairs at any given time. Chief Building Official S. R. Burgess said that the Specific Use Permit would allow for a maximum of four boats. Although there is not a time limit for how long the boats being repaired may stay on the property, Mr. DiNicholantonio said that the average boat takes about a week, depending on the availability of replacement parts, to be repaired. Any customer who fails to pay for the repairs will have their boat towed from the property. Mr. DiNicholantonio said that he would keep the property in the condition that it is in now.

Following the discussion, Commission Member Latimer made a motion to recommend approval of the Specific Use Permit, and Commission Member Bonham seconded the motion. There being no further discussion, Chairman Reeder called for a vote.

VOTE:

5 AYES (Bonham, Fortner, Latimer, Morgan, Reeder)

0 NAYS

MOTION PASSED

The Commission thanked Mr. DiNicholantonio for cleaning up his property.

ITEM 6.) CONDUCT A PUBLIC HEARING CONCERNING: SUP-20-0130, A Request for a Specific Use Permit, for a "Bed and Breakfast" Located at 3822 Water Street, Dickinson, Texas 77539, Currently Zoned Conventional Residential "CR".

Chairman Reeder opened the public hearing at 6:45 p.m.

A. Staff Presentation

Chief Building Official S. R. Burgess presented the item to the Commission, and thanked City Secretary Alun Thomas for his role in getting notifications sent out for this request. He explained how the parking will work for the property, and said that the fire escape plan has been approved by Fire Marshal Burt Heddles. Mr. Burgess informed the Commission that the Galveston County Health District confirmed that the food service at the bed and breakfast would not be regulated. Staff, he said, recommends approval of the variance, and the application meets all requirements for approval.

B. Applicant's Statement

Jeff Nuss, 3822 Water Street, Dickinson, Texas – Mr. Nuss said that the bed and breakfast has been a dream of his and his wife's for years. The lot is beautiful, and Mr. Nuss has lived in the neighborhood for fifty years. He said that his neighbor will always come first, and that the bed and breakfast will be priced right for the right people and will compliment the area. Mr. and Mrs. Nuss are a part of the community and care about the city.

C. Those in Favor

None.

D. Those Opposed

The Commission received a letter from Greg and Tammy Dittrich of 3817 Kellner Road, Dickinson, Texas. In the letter, they expressed their desire for a wooden fence to be erected between their properties for liability and privacy reasons, as they do not want strangers wandering onto their property. For years, they have been told by Mr. Nuss that he will erect such a fence but he has not.

E. Applicant Rebuttal

Mr. Nuss said that he has two cottages that will eventually be bed and breakfasts, if the application for a Specific Use Permit is approved. The cottage closest to the Dittrich's property line is not ready for guests yet. The Nuss' have been soliciting quotes for a fence, but commented that the property line is shared so the fence is not solely their responsibility. The intention for the cottage closest to the property line, he said, is for it to be dog-friendly, so it will have a fence.

F. Adjourn Public Hearing

Chairman Reeder adjourned the public hearing at 6:57 p.m.

ITEM 7.) CONSIDERATION AND POSSIBLE ACTION CONCERNING: SUP-20-0130, A Request for a Specific Use Permit, for a “Bed and Breakfast” Located at 3822 Water Street, Dickinson, Texas 77539, Currently Zoned Conventional Residential “CR”.

The Commission discussed the possibility of a fence along the Dittrich’s property line. Mr. Nuss said that he was planning a 7’ fence there. Chief Building Official S. R. Burgess informed Mr. Nuss that a 6’ fence does not require engineering. The Applicants said that although the fence is not required, there will be a fence to afford their guests their privacy.

Following the discussion, Commission Member Latimer made a motion to recommend approval of the Specific Use Permit, and Commission Member Fortner seconded the motion. There being no further discussion, Chairman Reeder called for a vote.

VOTE:

5 AYES (Bonham, Fortner, Latimer, Morgan, Reeder)

0 NAYS

MOTION PASSED

ITEM 8.) ADJOURN

Before the Commission adjourned, Chief Building Official S. R. Burgess introduced Director of Community Services Kola Olayiwola. The Commission welcomed him to Dickinson. Commission Member Fortner made a motion to adjourn the meeting at 7:08 p.m., and Commission Member Latimer seconded the motion. There being no discussion, Chairman Reeder called for a vote.

VOTE:

5 AYES (Bonham, Fortner, Latimer, Morgan, Reeder)

0 NAYS

MOTION PASSED

PASSED, APPROVED AND ADOPTED this the 18th day of August, 2020.

R. G. Reeder, Chairman
City of Dickinson, Texas
Planning & Zoning Commission

ATTEST:

Alun W. Thomas, City Secretary

Planning & Zoning Commission

ITEM 3

**Dickinson Planning & Zoning Commission
Agenda Item Data Sheet**

MEETING DATE August 18, 2020

TOPIC:	CONDUCT A PUBLIC HEARING CONCERNING: SUP 2020-0470 , A Request for a Specific Use Permit On Approximately 2.001 Acres, for a “Restaurant That Serves Alcohol” and a “Restaurant That Has a Drive-Through Window” in the “NC” (Neighborhood Commercial) Zoning District, Legally Described As Dickinson Crossing (2006) Abstract 19, Lot A, 2.001 Acres, Generally Located South of FM 517 and West of Evergreen, With the Address Being 628 FM 517 W, Dickinson, Texas 77539.
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BACKGROUND:	<p>Staff has received an application for a restaurant to be located at 628 FM 517 W, that wishes to serve alcohol and use the drive-through window. The property is zoned for Neighborhood Commercial “NC”, and the serving of alcohol and the used of a drive-through window in restaurants located in this zoning district require a Specific Use Permit.</p> <p>The Specific Use Permit may also include appropriate conditions and safeguards to protect adjacent property and property values.</p>
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ATTACHMENTS:	<ul style="list-style-type: none"> • Specific Use Permit Application, Including the List of Properties Within 200 Feet of Zoning Change Property Provided by Galveston Central Appraisal District to Applicant • Copy of Notice of Public Hearing Sent to Properties on List Provided by Galveston Central Appraisal District to Applicant • Aerial Image Reflecting Location of the Property • Affidavit of Publication of Newspaper Notice
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SUBMITTING STAFF MEMBER:	Alun W. Thomas, City Secretary
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ACTIONS TAKEN

<p>APPROVAL</p> <p><input type="checkbox"/> YES <input type="checkbox"/> NO</p>	<p>OTHER</p>
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SPECIFIC USE PERMIT APPLICATION



PROPERTY INFORMATION

Property Address: 628 FM 517 Rd W Dickinson, TX 77539
Legal Description: Dickinson Crossing (2006) ABST 19, LOT A, ACRES 2.001

Present district Zoning: Neighborhood Commercial

Specific Use Permit Being Requested Description: Vintage Crown -Micheladas & Tacos
Restaurant serving food, beer and wine. *via Dine in and the drive thru window.*

OWNER INFORMATION

Owner Name: *MODS Bay colony, LLC* Owner Phone#: *281-788-9360*
Address: *6 Waterford Oaks Lane*
City: *Keman* State: *TX* Zip Code: *77565*

APPLICANT/AGENT INFORMATION

Applicant/Agent Name: Angelo Arriaga Applicant Phone#: 409-996-9319
Address: 2899 Flower Creek Ln
City: Dickinson State: TX Zip Code: 77539

*If applicant is different than property owner a *Notarized Letter of Authorization* must be attached to the application*

PROPERTY OWNER/AGENT AUTHORIZATION

Property Owner Consent/Agent Authorization: By my signature, I hereby affirm that I am the property owner of record, or if the applicant is an organization or business entity, that authorization has been granted to represent the owner, organization or business in this application. I certify that the preceding information is complete and accurate, and it is understood that I agree to the application being requested for this property. Additionally, my signature below indicates my awareness of the fee required at the time of the application submittal and any additional fees as noted in the City's fee schedule. This fee is non-refundable even in the event of application withdrawal. I have the power to authorize and hereby grant permission for City of Dickinson officials to enter the property on official business as part of the application process

[Signature] *Dorit Allen* 07-23-2020
Signature of Contractor, Authorized Agent Printed Name Application Date

FOR OFFICE USE ONLY

Specific Use Permit Number#: *2020-0470* Fees Due\$: *650.00*
Date was Submitted: *7/27/2020* Payment rcvd: *via check #2889*
P&Z Meeting Date: *8-18-2020* Approved Denied *7-27-2020*
Council Meeting Date: *8-25-2020* Approved Denied



SPECIFIC USE PERMIT APPLICATION REQUIREMENTS

Attach These Items With Completed Application:

- Map from Central Appraisal District with 200' radius
- List of owners within 200' (from Central Appraisal District)
- Existing Site Plan
- \$525.00 Fee ~~525.00~~ *650.00*



Submit Immediately *AFTER* Notices Have Been postmarked:

- Sign & Address Affidavit

Bring these items to the Planning & Zoning Meeting:

- Return receipts of mailed notice, including envelopes that are returned

What is a Specific Use Permit?

Certain uses have been prescribed as needing an additional approval before being placed within certain Zoning Districts. A Specific Use Permit can have additional conditions applied to the business being proposed to protect surrounding zoning districts from undue harm.

Who may request a Specific Use Permit?

A Specific Use Permit may be requested by the owner of the property or another person having written, notarized authorization to act as the agent of the property owner.

How long does a Specific Use Permit request take?

Many factors influence the amount of time required to complete a Specific Use Permit request. A good estimate is 45-60 days from the date of application submittal. The Planning & Zoning Commission meets once a month on the Third Tuesday of the month. City Council meets twice a month on the Second and Fourth Tuesday's of the month. Please ask staff to present you with a calendar of the upcoming meetings.

How do I submit a request?

The City of Dickinson will supply the application form and staff will assist you in completing it. When several owners are involved, one person should be authorized (by notarized letter) to act as the signatory and applicant.

What is the filing deadline?

Proposals should be filed as soon as completed. They must be filed, no later than 12:00 noon, thirty (30) days prior to the Planning & Zoning Commission meeting date. If required information is missing or in error, the proposal will be returned for completion and must be resubmitted in accordance with the filing deadline.

What is the cost of a Specific Use Permit request?

A non-refundable fee of \$525.00 must accompany a completed Specific Use Permit application. In some instances, staff, the Planning & Zoning Commission or City Council may require technical studies (engineering, noise, traffic, impact, etc.). The cost for these studies is borne by the applicant. The breakdown of the \$525.00 is as follows:

- \$250.00 Application Fee
- \$250.00 Newspaper Notice Fee
- 25.00/Variance Sign, to be placed every 200' of public street frontage



SPECIFIC USE PERMIT APPLICATION

What is the purpose of the public hearings?

Zoning regulations are established to protect the public health, safety and general welfare of all citizens. The public hearing process gives all residents to express how they feel the proposed variance could affect them positively or negatively.



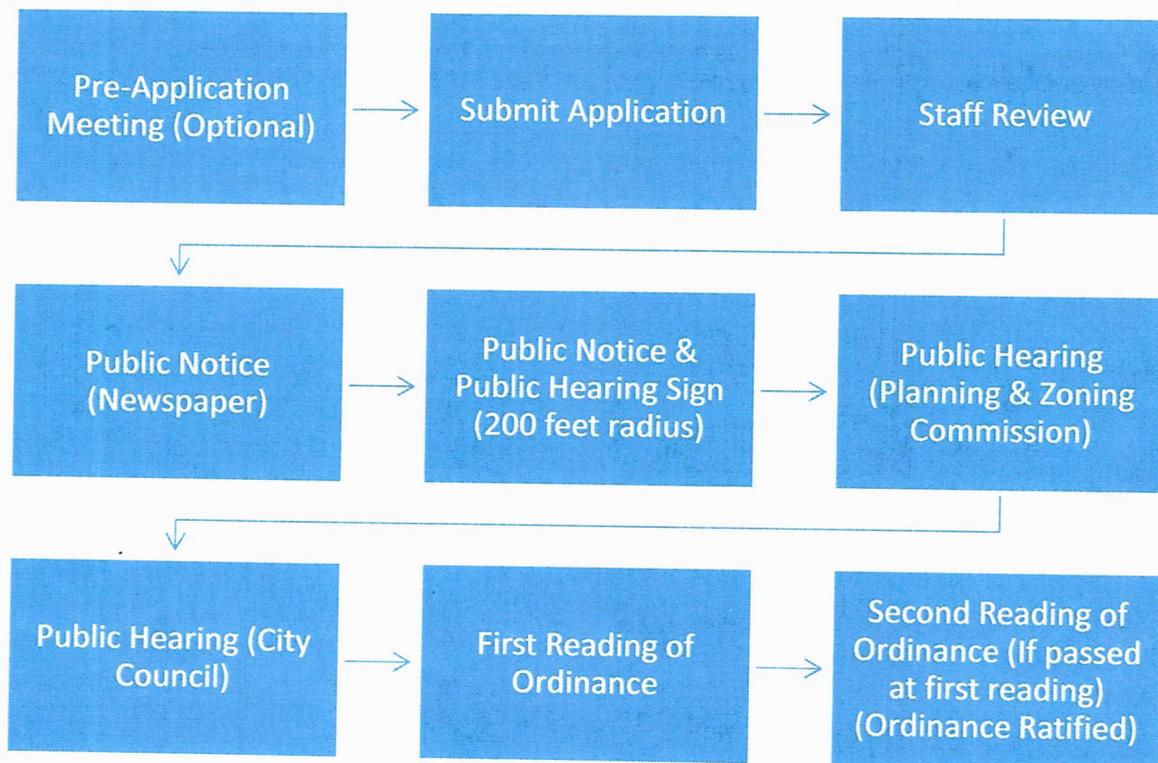
What key information should be presented?

- Present and proposed zoning or use
- Compatibility of proposed zoning with the surrounding area
- Important physical features of the property (roads, topography, etc.)
- Need for re-zoning the location
- Support for the request by neighboring property owners
- Other facts that may affect a decision

Who should present the proposal at the public hearings?

The owner should be present at the public hearings. The owner, applicant or an agent may make the presentation to the Board of Adjustments.

Process for Specific Use Permits:



MDDS BAY COLONY, LLC

Owners – Managers – Builders

6 Waterford Oaks Lane
Kemah, Texas 77565
Phone: (281) 728-9360



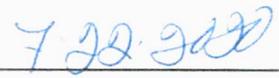
I, Dorit Allon Owner of MDDS Bay Colony Shopping Center have leased a space at the address 628 FM 517 Rd W, Dickinson TX 77539 to Angelo E. Arriaga dba Vintage Crown.



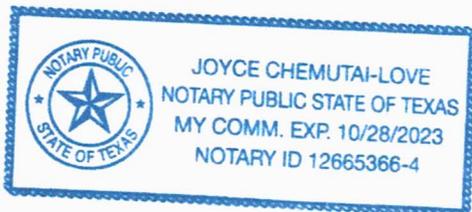
Dorit Allon

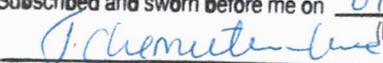


Owner



Date

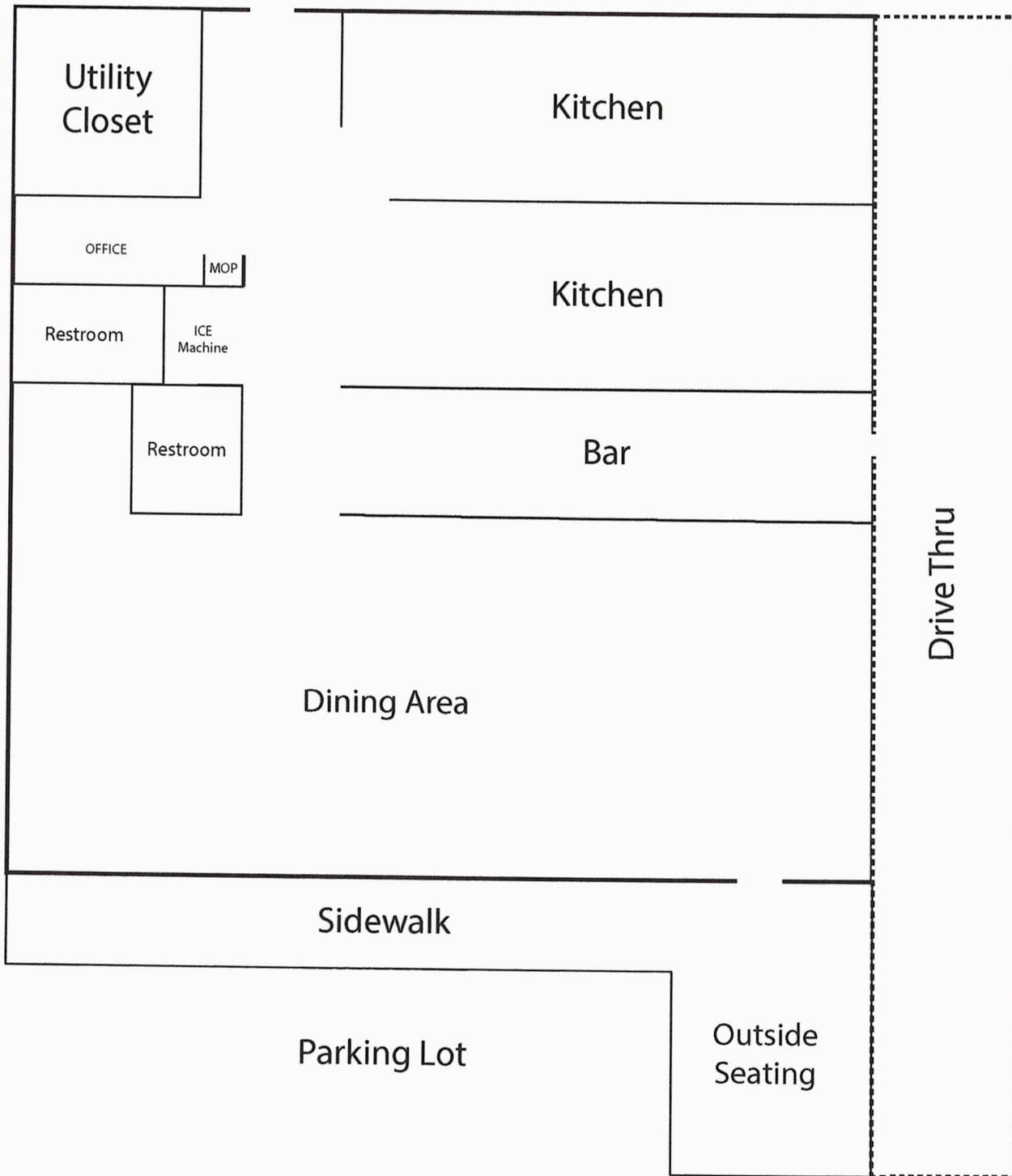


State of Texas County of Harris
Subscribed and sworn before me on 07/22/2020


(Notary Signature)

ID	NAME	ADDRESS	ADDRESS2	ADDRESS3	CITY	ST	ZIP
162160	SUTHERLAND LUMBER SW INC	<null>	4000 MAIN ST	<null>	KANSAS CITY	MO	64111-2326
162162	CHOUDHRI ALI	<null>	2500 W LOOP S	STE 255	HOUSTON	TX	77027
162209	PERALES CYNTHIA LYNN & MARK CISNEROS	<null>	3721 EVERGREEN DR	<null>	DICKINSON	TX	77539-6107
162210	ARRIAGA GREGORIO LOPEZ III	<null>	3719 EVERGREEN DR	<null>	DICKINSON	TX	77539
162212	WILLINGHAM LINDA KAY	<null>	3713 EVERGREEN DR	<null>	DICKINSON	TX	77539-6107
162213	LIGGIO JASPER J	<null>	P O BOX 1698	<null>	DICKINSON	TX	77539-1698
162216	SHERIDAN DENNIS & TRACY	<null>	3707 EVERGREEN DR	<null>	DICKINSON	TX	77539
162217	DOW DARNELL J	<null>	PO BOX 1000	<null>	PEARLAND	TX	77588
162288	KEITH TIMOTHY & DEBORAH	<null>	604 RENALDO ST	<null>	DICKINSON	TX	77539
162289	BEAGNYAM AZZIE & ASHLEE	<null>	610 REYNALDO ST	<null>	DICKINSON	TX	77539-6123
162290	BOLEN ROBERT E & SHARON A	<null>	614 RENALDO DR	<null>	DICKINSON	TX	77539
162291	GREEN KENNETH W & DONNA E	<null>	618 RENALDO	<null>	DICKINSON	TX	77539
162298	OYERVIDES JORGE A	<null>	3732 EVERGREEN DR	<null>	DICKINSON	TX	77539
162299	GRAHAM JEFFERY ROSS & DENISE MARIE	<null>	3728 EVERGREEN	<null>	DICKINSON	TX	77539
162300	CASTILLO CHRISTIAN DANIEL	<null>	3724 EVERGREEN DR	<null>	DICKINSON	TX	77539
162301	DUNSHEATH RICHARD J JR &	<null>	ELLEN M	3720 EVERGREEN DR	DICKINSON	TX	77539-6108
162302	LYON STEPHEN MARK IV	<null>	3716 EVERGREEN DR	<null>	DICKINSON	TX	77539-6108
162303	ONUORAH VIRGINIA	<null>	2211 RINCON DR	<null>	LEAGUE CITY	TX	77573
434564	CORSAIR INVESTMENTS INC	<null>	2304 CARINA CT	<null>	LEAGUE CITY	TX	77573
434566	RC BC LLC	<null>	AND GT BC LLC	PO BOX 26426	LOS ANGELES	CA	90026

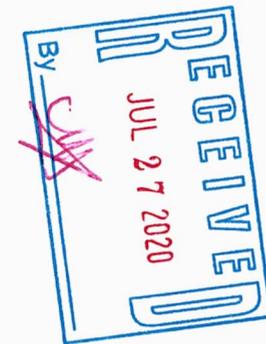




Vintage Crown -
Michelada Bar and Tacos

628 FM 517 Rd W
Dickinson, TX 77539

2050 sq ft



BAY COLONY III

TJ REED KITCHEN	K & G BARBER	Advance Brace		Cline Pediatic	Vintage Crown - Michelada Bar and Tacos
616	618	620	622	624	628

WELLNESS/ P.T.	608/610
Massage 8	606



FM 517 West



RECEIVED
JUL 27 2020
By *[Signature]*

RESTAURANT
FOR LEASE
281-728-9360

LINE
TRICS

FLIPPERS





RECEIVED
JUL 27 2020
BY *[Signature]*



RECEIVED
JUL 27 2020
BY *Sue*



Angelo Arriaga

628 FM 517 Rd. W Dickinson, TX 77539

(409) 996-9319

angeloeearriaga@gmail.com



July 24, 2020

Dear City of Dickinson,

I am requesting a "specific use permit" for my business **Vintage Crown – Micheladas & Tacos**. I have attached all required documents for your review. Vintage Crown – Micheladas & Tacos is a family restaurant serving food, beer and wine.

Sincerely,

Angelo Arriaga



Notice of Public Hearing

This notice is provided in accordance with Dickinson Code of Ordinances Section 18-20. It will be sent to all property owners within 200' of the property listed below regarding a request for a Specific Use Permit. You are welcome to attend the public hearing to learn more about the proposed project and/or to voice your opinions on this proposal.

Address of Property: 628 W FM 517
Dickinson, TX 77539

Legal Description: Dickinson Crossing (2006) Abstract 19, Lot A, Acres 2.001

Location: Generally Located South of FM 517 and West of Evergreen Drive

Proposal: Request for a Specific Use Permit on Approximately 2.001 Acres, for a "Restaurant That Serves Alcohol" and a "Restaurant That Has a Drive-Through Window" in the "NC" (Neighborhood Commercial) Zoning District.

Meeting Date: **Planning & Zoning Commission:** Tuesday, August 18, 2020 at 6:30 p.m.
City Council: Tuesday, August 25, 2020 at 7:00 p.m.

Meeting Location: 4403 Highway 3
Dickinson City Hall
Council Chambers
Dickinson, TX 77539

In accordance with order of the Office of the Governor issued March 16, 2020, the City of Dickinson, Texas reserves the right to conduct these public meetings by telephone or online video conference.

If you would like additional information regarding the details of this proposal, please contact Ray Burgess, City of Dickinson Building Official, at (281) 337-8833.

628 W FM 517



The Daily News.

Affidavit of Publication

P.O. Box 628
Galveston, TX 75544
(409) 683-5200

STATE OF TEXAS
COUNTY OF GALVESTON

Jana Knoell, being duly sworn, says:
That she is Jana Knoell of THE GALVESTON COUNTY DAILY NEWS, a daily newspaper of general circulation, printed and published, a copy of which is attached hereto, was published in the said newspaper on the following dates:
07/29/20

That said newspaper was regularly issued and circulated on those dates.

Signed: Jana Knoell
Jana Knoell

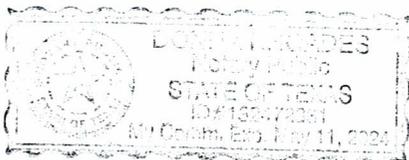
Subscribed to and sworn to me this 31st day of July, 2020

Donna Rhoades
Donna Rhoades

Notary Public, State of Texas, Galveston County, TX
My commission expires: May 11, 2024

Acct #54152 Ad #772103

City of Dickinson - Legals
Accounts Payable
4403 Hwy 3
Dickinson, TX 77539



Notice of Public Hearing

This notice is provided in accordance with Dickinson Code of Ordinances Section 18-20. It will be sent to all property owners within 200' of the property listed below regarding a request for a Specific Use Permit. You are welcome to attend the public hearing to learn more about the proposed project and/or to voice your opinions on this proposal.

Address of Property: 628 W FM 517, Dickinson, TX 77539

Legal Description: Dickinson Crossing (2006) Abstract 19, Lot A, Acres 2.001

Location: Generally Located South of FM 517 and West of Evergreen Drive

Proposal: Request for a Specific Use Permit on Approximately 2.001 Acres, for a "Restaurant That Serves Alcohol" and a "Restaurant That Has a Drive-Through Window" in the "NC" (Neighborhood Commercial) Zoning District.

Meeting Date: Planning & Zoning Commission: Tuesday, August 18, 2020 at 6:30 p.m.

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Meeting Location:
4403 Highway 3,
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Council Chambers
Dickinson, TX 77539

In accordance with order of the Office of the Governor issued March 16, 2020, the City of Dickinson, Texas reserves the right to conduct these public meetings by telephone or online video conference.

If you would like additional information regarding the details of this proposal, please contact Ray Burgess, City of Dickinson Building Official, at (281) 337-8833.

Published: July 29, 2020

COPY

Planning & Zoning Commission

ITEM 4

**Dickinson Planning & Zoning Commission
Agenda Item Data Sheet**

MEETING DATE August 18, 2020

TOPIC:	CONSIDERATION AND POSSIBLE ACTION CONCERNING: SUP 2020-0470 , A Request for a Specific Use Permit On Approximately 2.001 Acres, for a “Restaurant That Serves Alcohol” and a “Restaurant That Has a Drive-Through Window” in the “NC” (Neighborhood Commercial) Zoning District, Legally Described As Dickinson Crossing (2006) Abstract 19, Lot A, 2.001 Acres, Generally Located South of FM 517 and West of Evergreen, With the Address Being 628 FM 517 W, Dickinson, Texas 77539.
---------------	---

BACKGROUND:	<p>In the previous agenda item, the Planning & Zoning Commission conducted a public hearing concerning a request for a Specific Use Permit for a “Restaurant That Serves Alcohol” located at 628 FM 517 W, Dickinson, Texas 77539.</p> <p>The Commission’s recommendation will be presented to the City Council for consideration on December 12, 2017.</p> <p>Staff Recommends Approval of the Requested Specific Use Permit as Presented.</p>
--------------------	---

ATTACHMENTS:	<ul style="list-style-type: none">• None.
---------------------	---

SUBMITTING STAFF MEMBER:	Alun W. Thomas, City Secretary
---------------------------------	--------------------------------

ACTIONS TAKEN

APPROVAL <input type="checkbox"/> YES <input type="checkbox"/> NO	OTHER
---	--------------

Planning & Zoning Commission

ITEM 5

**Dickinson Planning & Zoning Commission
Agenda Item Data Sheet**

MEETING DATE August 18, 2020

TOPIC:	CONSIDERATION AND POSSIBLE ACTION CONCERNING: A Request for Site Development Plan Approval for Road and Bridge Department Facilities Located on Property Legally Described As ABST 11 PAGE 7 A FARMER SUR TR 25 4.883 ACRS, Generally Located East of Highway 3 and South of Mowat Street, With the Address Being 5115 Highway 3, Dickinson, Texas 77539.
---------------	--

BACKGROUND:	<p>The request has been made for the Development of this property. The location has been vacant and is located near the corner of Highway 3 and Mowat Drive, immediately south of the Little League baseball fields. This property, and the adjacent properties, are presently zoned General Commercial (GC).</p> <p>Access – The site will be accessed via Highway 3 and Mowat Drive.</p> <p>Fire – Fire Station #1 is approximately 1.35 miles away via Highway 3 and FM 517.</p>
--------------------	---

RECOMMENDATION:	The Site Development Plan meets the requirements of Section 18-40 of the City’s Zoning Ordinance. Therefore, Staff recommends approval of the Site Development Plan.
------------------------	---

ATTACHMENTS:	<ul style="list-style-type: none"> • Site Development Plan
---------------------	---

SUBMITTING STAFF MEMBER:	Alun W. Thomas, City Secretary, by request from S. R. Burgess, Chief Building Official
---------------------------------	--

ACTIONS TAKEN

APPROVAL <input type="checkbox"/> YES <input type="checkbox"/> NO	OTHER
---	--------------

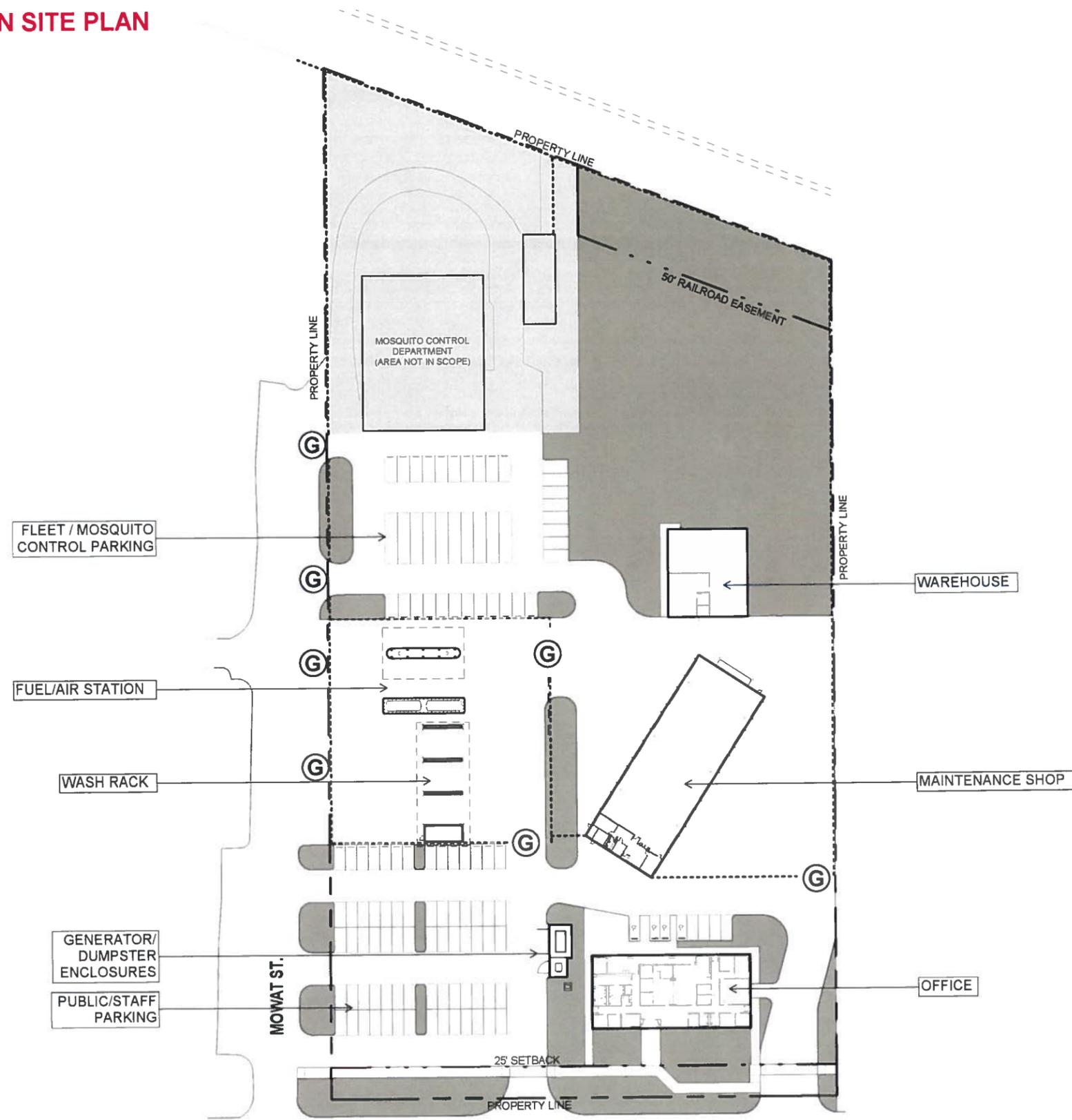
**Road & Bridge
Department Facilities
City of Dickinson Review
06 July 2020**

Client
Galveston County

Project Number
418198



CONSTRUCTION SITE PLAN
1" = 100'-0"



STATE HIGHWAY 3

SITE PLAN LEGEND

-  AREA OUTSIDE PROJECT SCOPE
-  PROPERTY LINE
-  EASMENT LINE
-  CHAINLINK FENCE
-  AUTOMATIC ROLLING CHAINLINK GATE

PARKING REQUIREMENTS

OFFICE ^A	26
MAINTENANCE SHOP ^B	46
WAREHOUSE ^C	5
MOSQUITO CONTROL ^D	14
TOTAL STANDARD SPACES REQUIRED	89
TOTAL ACCESSIBLE SPACES REQUIRED	2
TOTAL SPACES REQUIRED	91
TOTAL STANDARD SPACES PROVIDED	96
TOTAL ACCESSIBLE SPACES PROVIDED	4
TOTAL SPACES PROVIDED	100

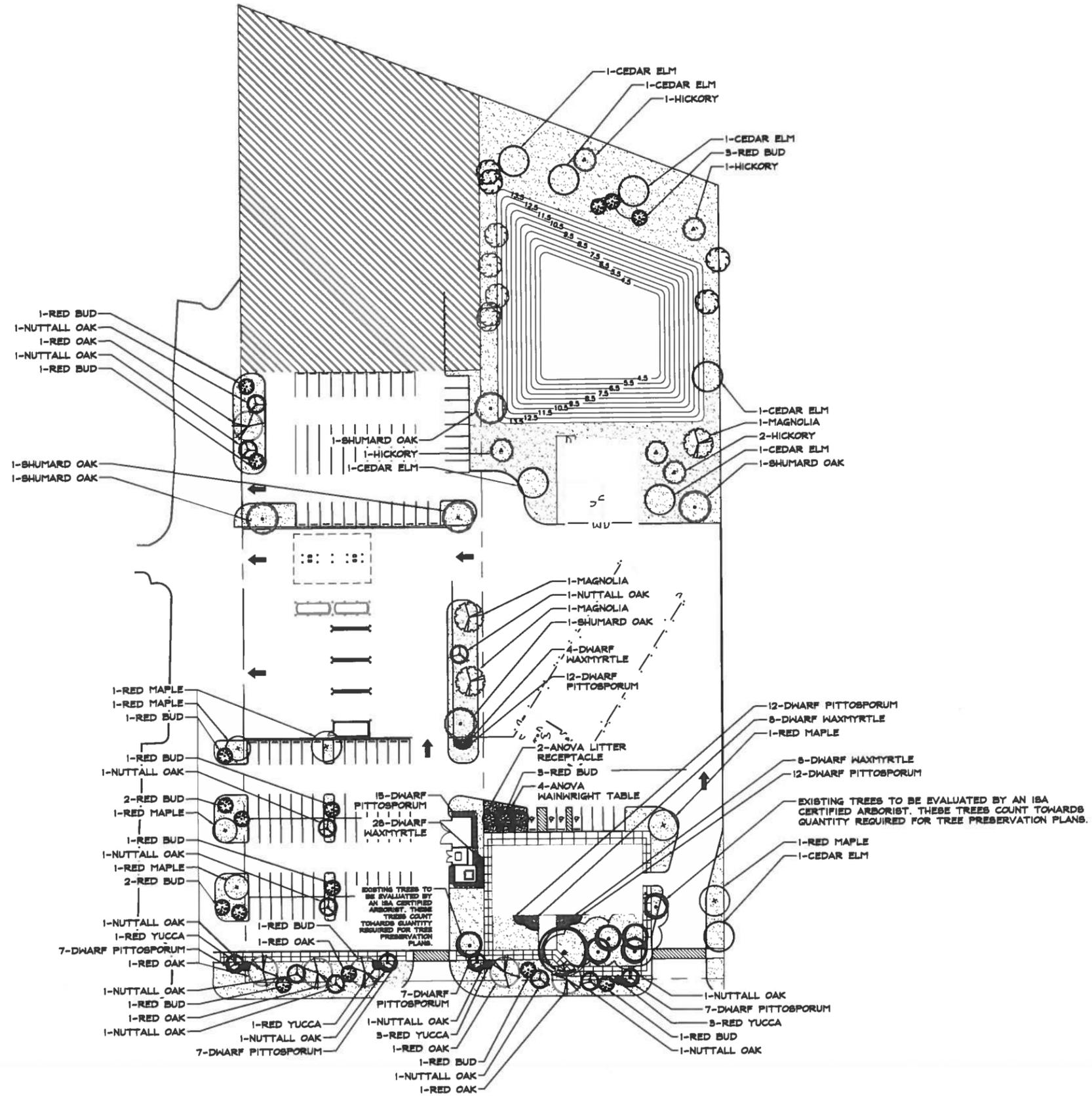
^A CITY OF DICKINSON CLASSIFICATION: BANK, CLINIC, OFFICE = 1:250 SF
 OFFICE = 6,430SF / 250 = 26 SPACES

^B CITY OF DICKINSON CLASSIFICATION: SERVICE STATION = 4:1 BAY
 MAINTENANCE SHOP = 12 BAYS x 4 = 48 SPACES

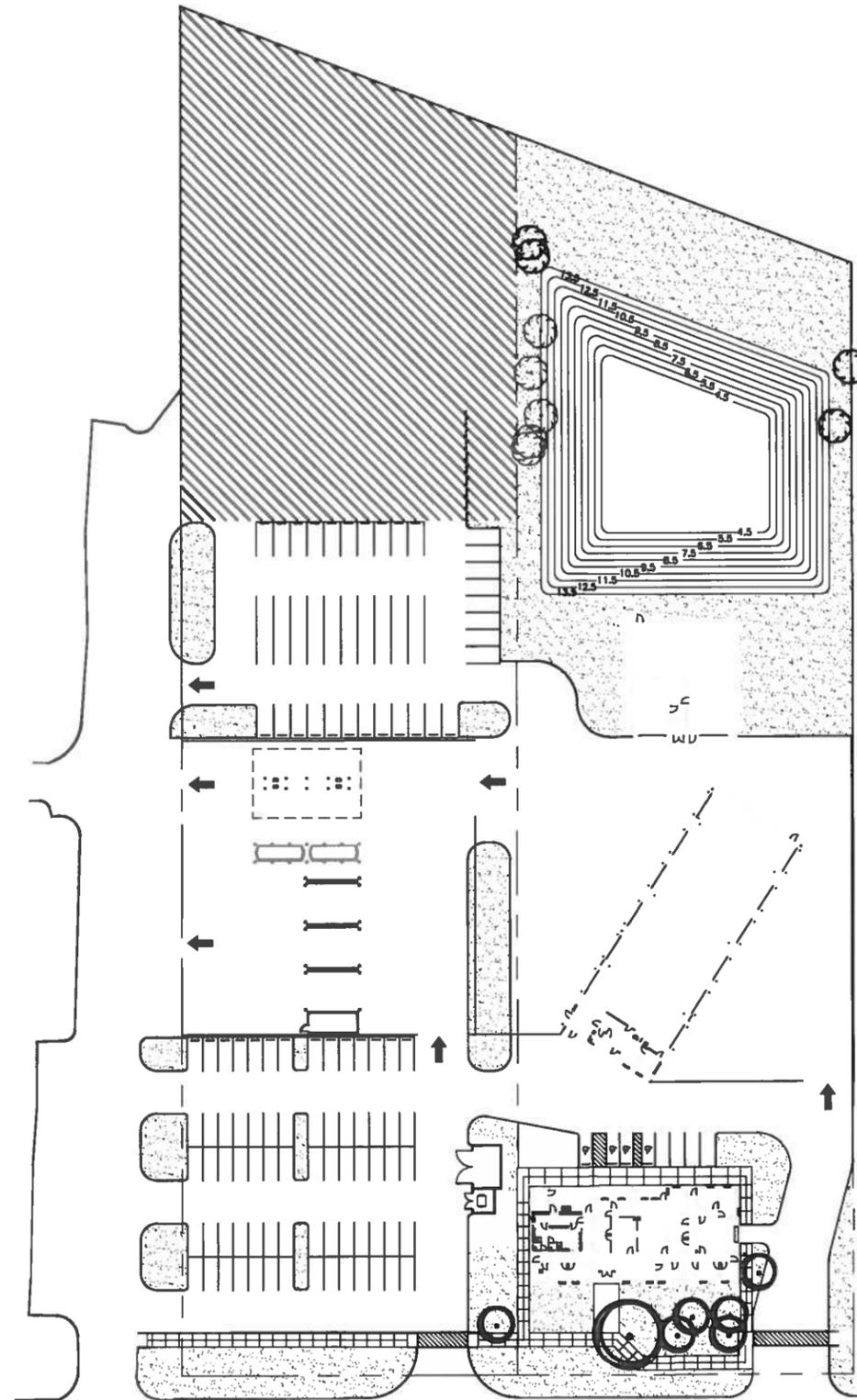
^C CITY OF DICKINSON CLASSIFICATION: WAREHOUSE, SHIPPING & RECEIVING = 1:1,000 F
 WAREHOUSE = 4,380SF / 1000 = 5 SPACES

^D CITY OF DICKINSON CLASSIFICATION: WAREHOUSE, SHIPPING & RECEIVING = 1:1,000 F
 MOSQUITO = 13,500SF / 1000 = 14 SPACES

LANDSCAPE PLANS
SCALE: 1" = 100'



TREE PRESERVATION PLANS
SCALE: 1" = 100'



Tree Type	Caliper / Inches	Treatment	In. Removed
Total Trees	35	Qualifying Trees Removed	22
Total Inches	458	Significant Trees Removed	2
Qualifying Trees	31	Qualifying Inches Removed	262
Significant Trees	4	Significant Inches Removed	44
Qualifying Inches	370	Qualifying Trees Saved	9
Significant Inches	88	Significant Trees Saved	2
25% Threshold Qualifying Trees	8	% Qualifying Trees Saved	29.03%
60% Threshold Significant Trees	3	% Significant Trees Saved	50.00%
Significant inches to Be Replaced at accelerated rate (1.3 x inches)		32	



SITE PERSPECTIVES

OFFICE



MAINTENANCE SHOP

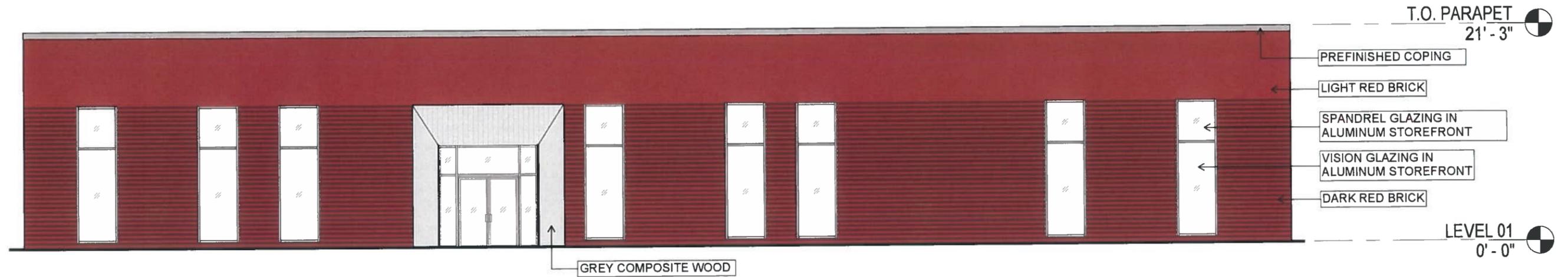


WAREHOUSE



WASH RACK

BUILDING ELEVATIONS
OFFICE



SOUTH ELEVATION

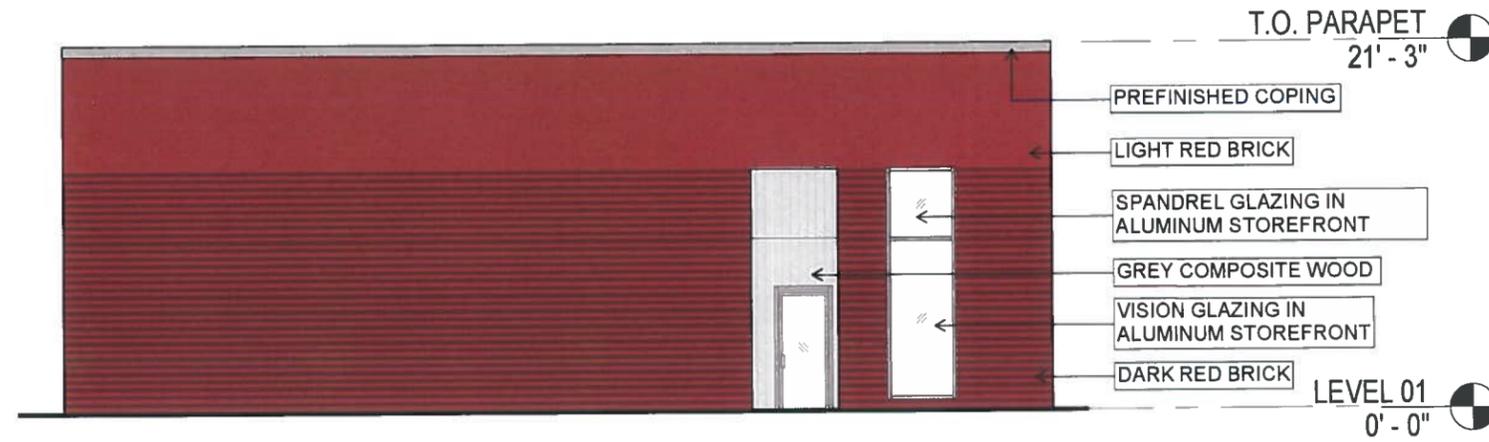
SCALE: 3/32" = 1'-0"



NORTH ELEVATION

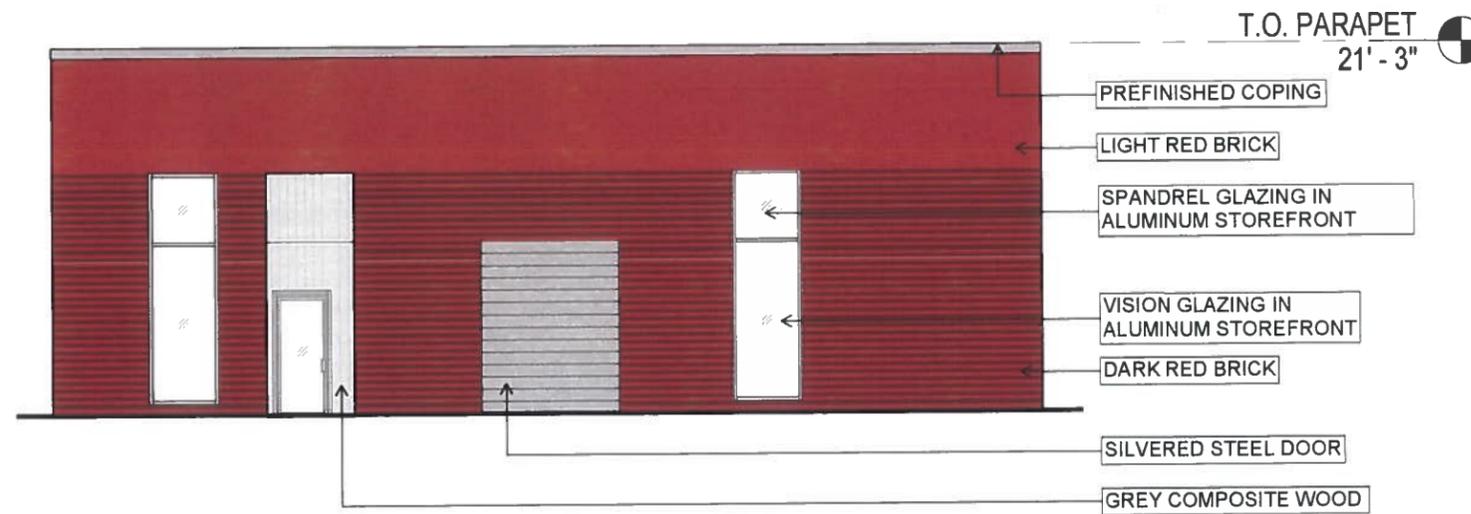
SCALE: 3/32" = 1'-0"

BUILDING ELEVATIONS
OFFICE



WEST ELEVATION

SCALE: 3/32" = 1'-0"



EAST ELEVATION

SCALE: 3/32" = 1'-0"

BUILDING ELEVATIONS
MAINTENANCE SHOP



NORTH ELEVATION

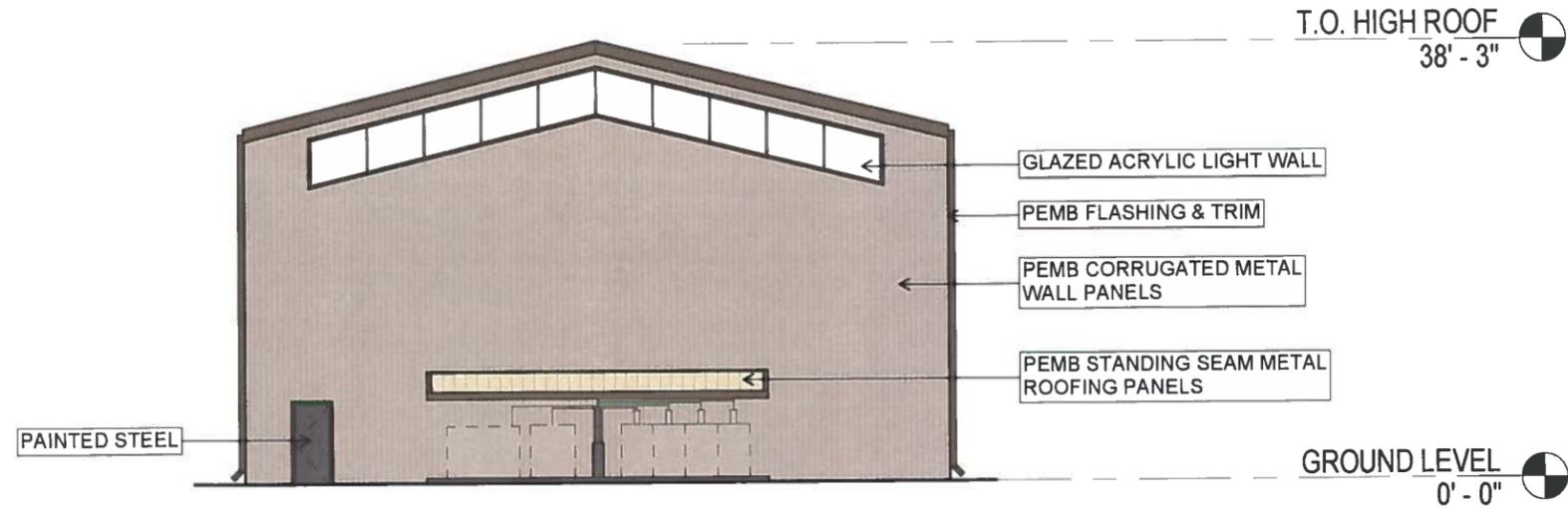
SCALE: 1/16" = 1'-0"



SOUTH ELEVATION

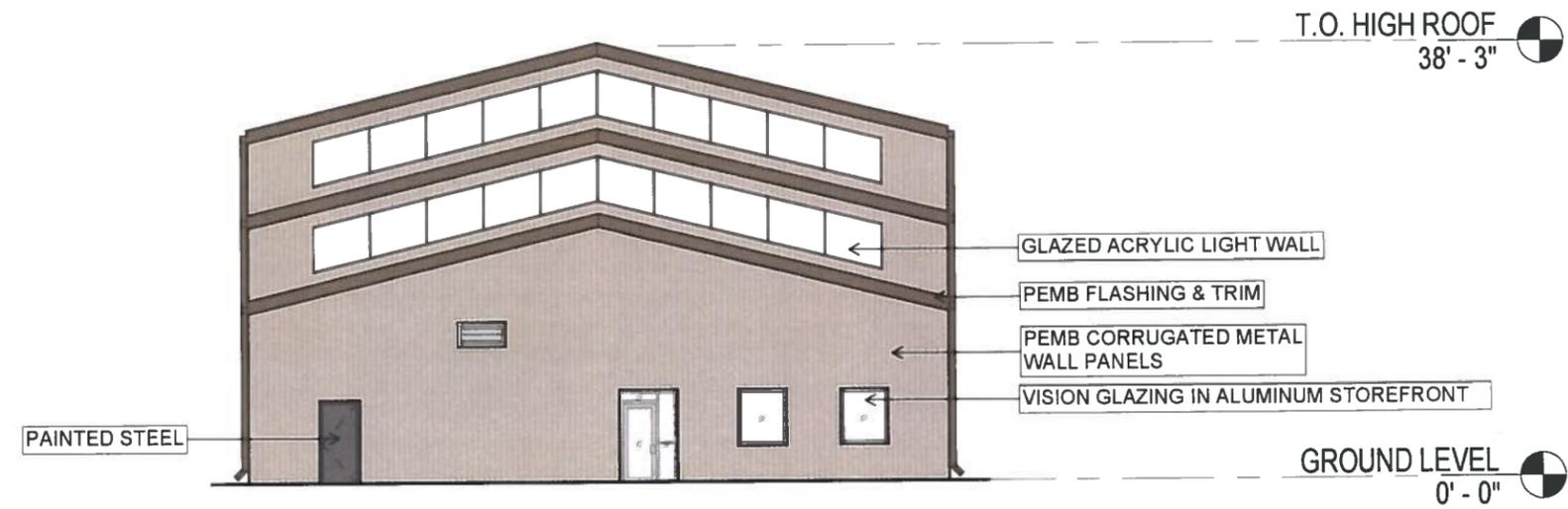
SCALE: 1/16" = 1'-0"

BUILDING ELEVATIONS
MAINTENANCE SHOP



EAST ELEVATION

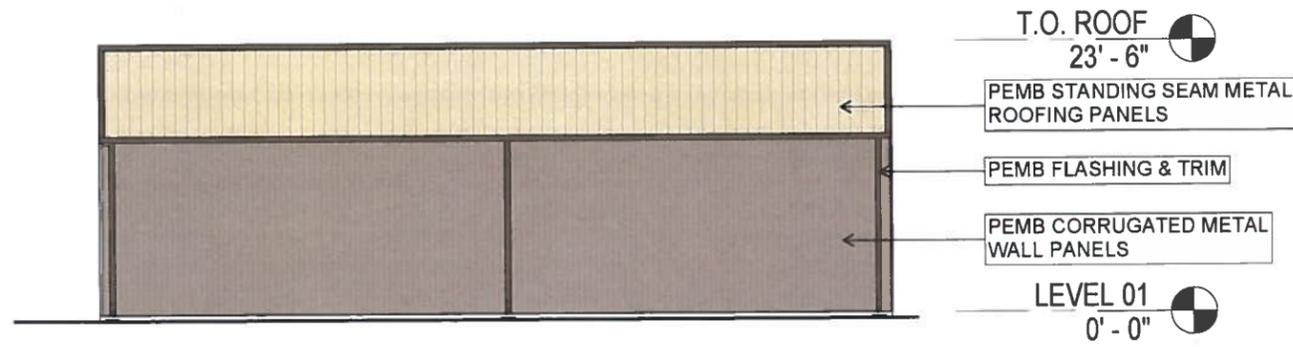
SCALE: 1/16" = 1'-0"



WEST ELEVATION

SCALE: 1/16" = 1'-0"

BUILDING ELEVATIONS
WAREHOUSE



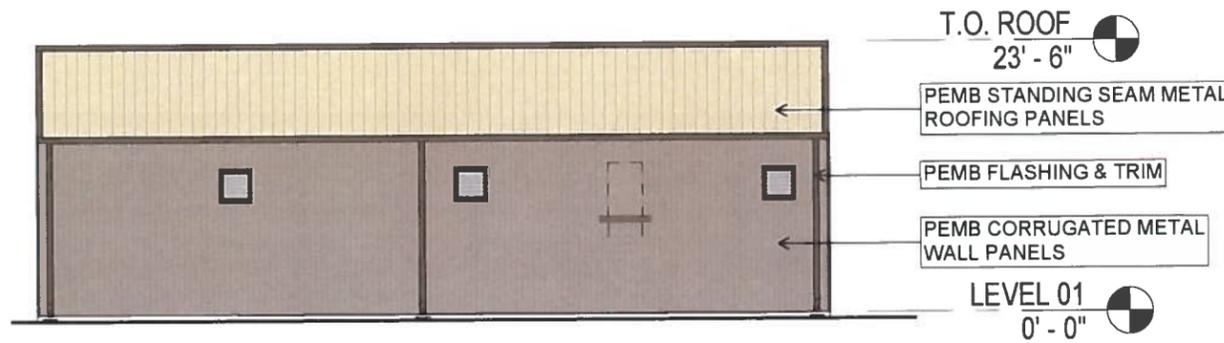
EAST ELEVATION

SCALE: 1/16" = 1'-0"



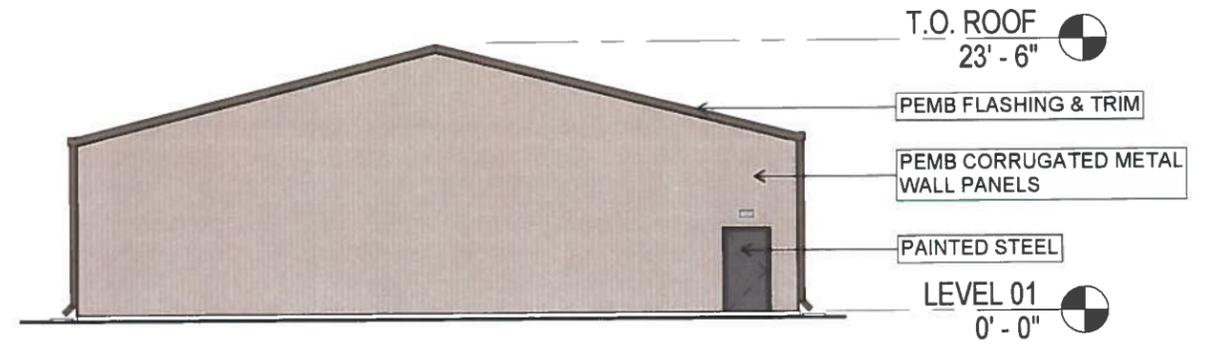
SOUTH ELEVATION

SCALE: 1/16" = 1'-0"



WEST ELEVATION

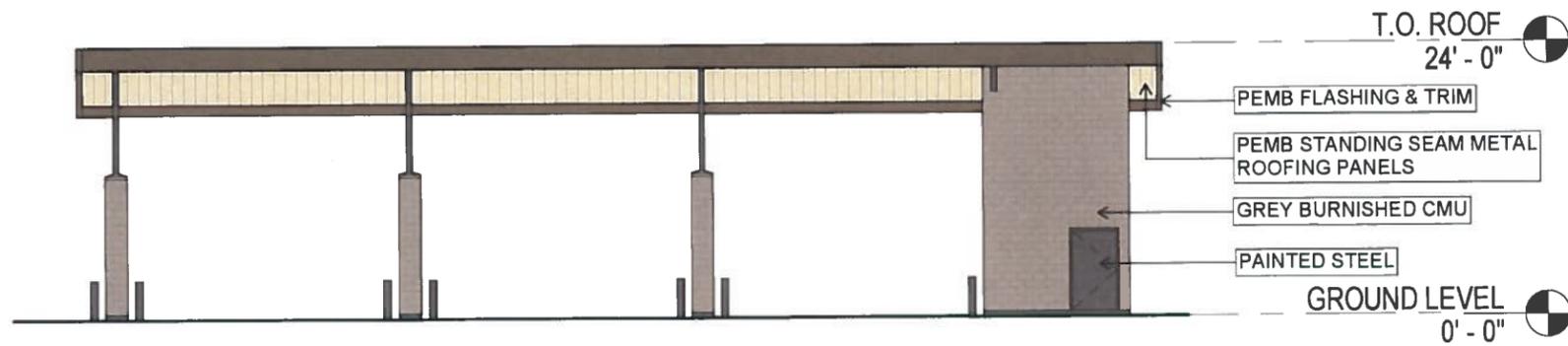
SCALE: 1/16" = 1'-0"



NORTH ELEVATION

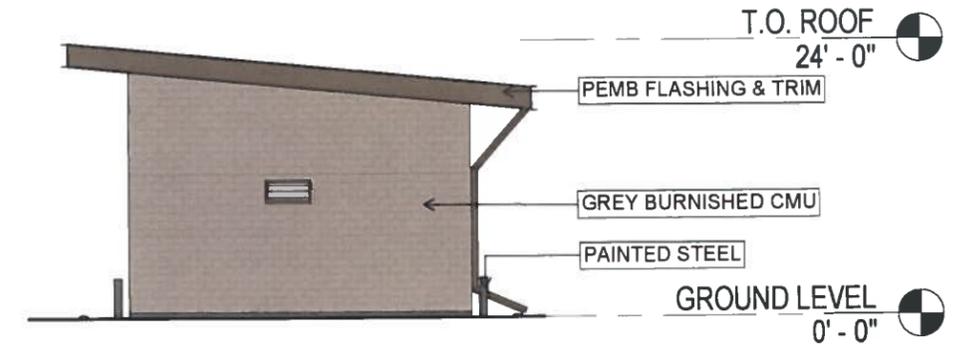
SCALE: 1/16" = 1'-0"

BUILDING ELEVATIONS
WASH RACK



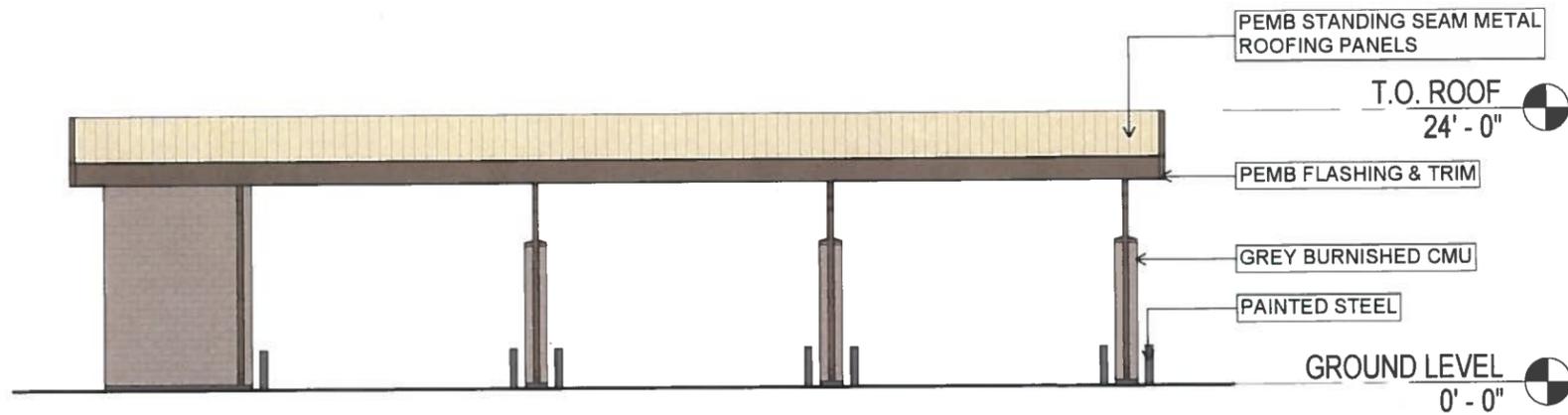
WEST ELEVATION

SCALE: 1/16" = 1'-0"



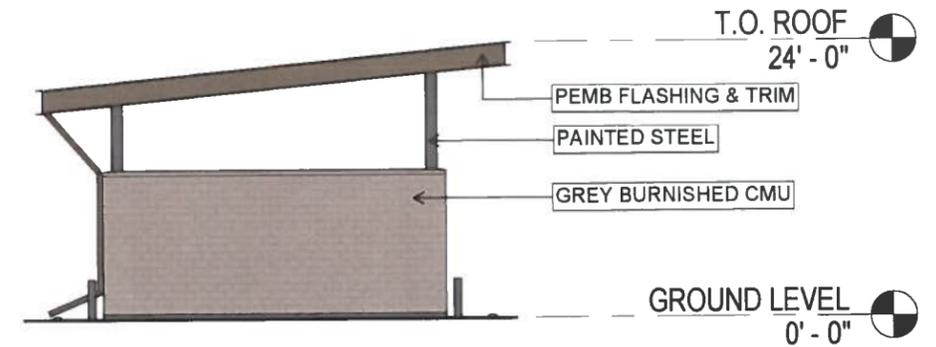
SOUTH ELEVATION

SCALE: 1/16" = 1'-0"



EAST ELEVATION

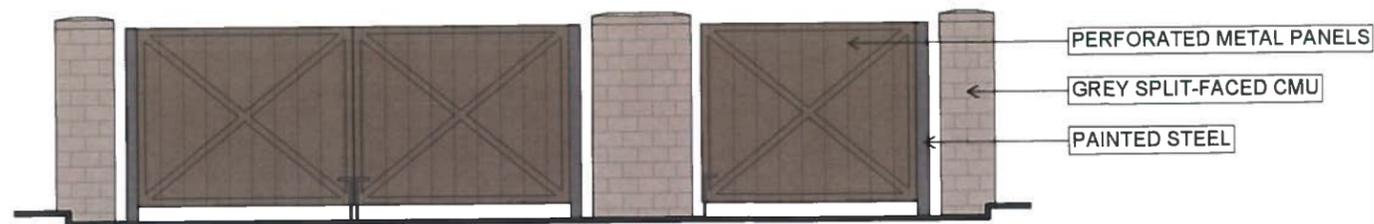
SCALE: 1/16" = 1'-0"



NORTH ELEVATION

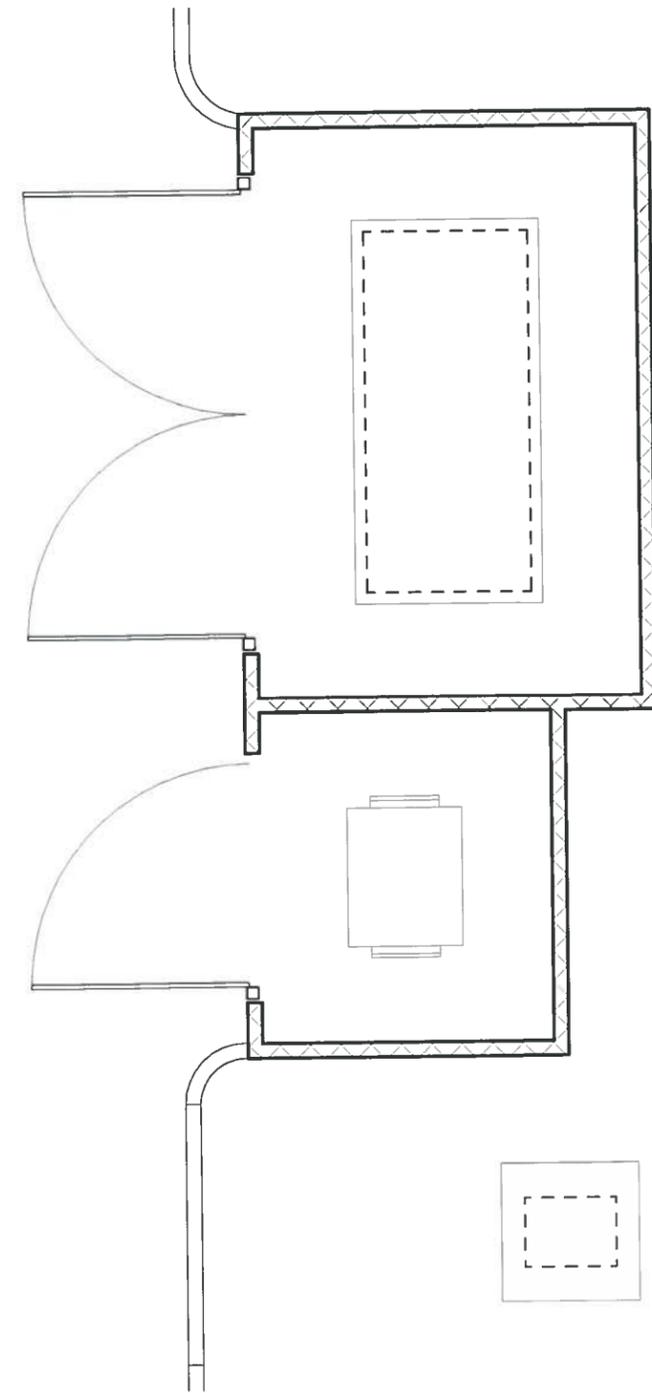
SCALE: 1/16" = 1'-0"

BUILDING ELEVATION
GENERATOR & DUMPSTER ENCLOSURES



DUMPSTER ENCLOSURE - EAST ELEVATION

SCALE: 1/8" = 1'-0"



PLAN @ ENCLOSURE

SCALE: 1/8" = 1'-0"

Planning & Zoning Commission

ITEM 6

**Dickinson Planning & Zoning Commission
Agenda Item Data Sheet**

MEETING DATE August 18, 2020

TOPIC:	CONSIDERATION AND POSSIBLE ACTION CONCERNING: A Request for Site Development Plan Approval for a Retail Building Located on Property Legally Described As BORDEN'S GULLY (2007) ABST 19, RES E (5-0), ACRES 1.401, Generally Located North of FM 517 and East of Borden Gully Drive, With the Address Being 301 West FM 517, Dickinson, Texas 77539.
---------------	---

BACKGROUND:	<p>The request has been made for the Development of this property. The location has been vacant and is located near the corner of FM 517 and Borden Gully Drive, immediately northeast of the intersection. This property, and the adjacent properties, are presently zoned General Commercial (GC).</p> <p>Access – The site will be accessed via Borden Gully Drive.</p> <p>Fire – Fire Station #2 is approximately 300 feet away.</p>
--------------------	--

RECOMMENDATION:	The Site Development Plan meets the requirements of Section 18-40 of the City's Zoning Ordinance. Therefore, Staff recommends approval of the Site Development Plan.
------------------------	---

ATTACHMENTS:	<ul style="list-style-type: none"> • Site Development Plan
---------------------	---

SUBMITTING STAFF MEMBER:	Alun W. Thomas, City Secretary, by request from S. R. Burgess, Chief Building Official
---------------------------------	--

ACTIONS TAKEN

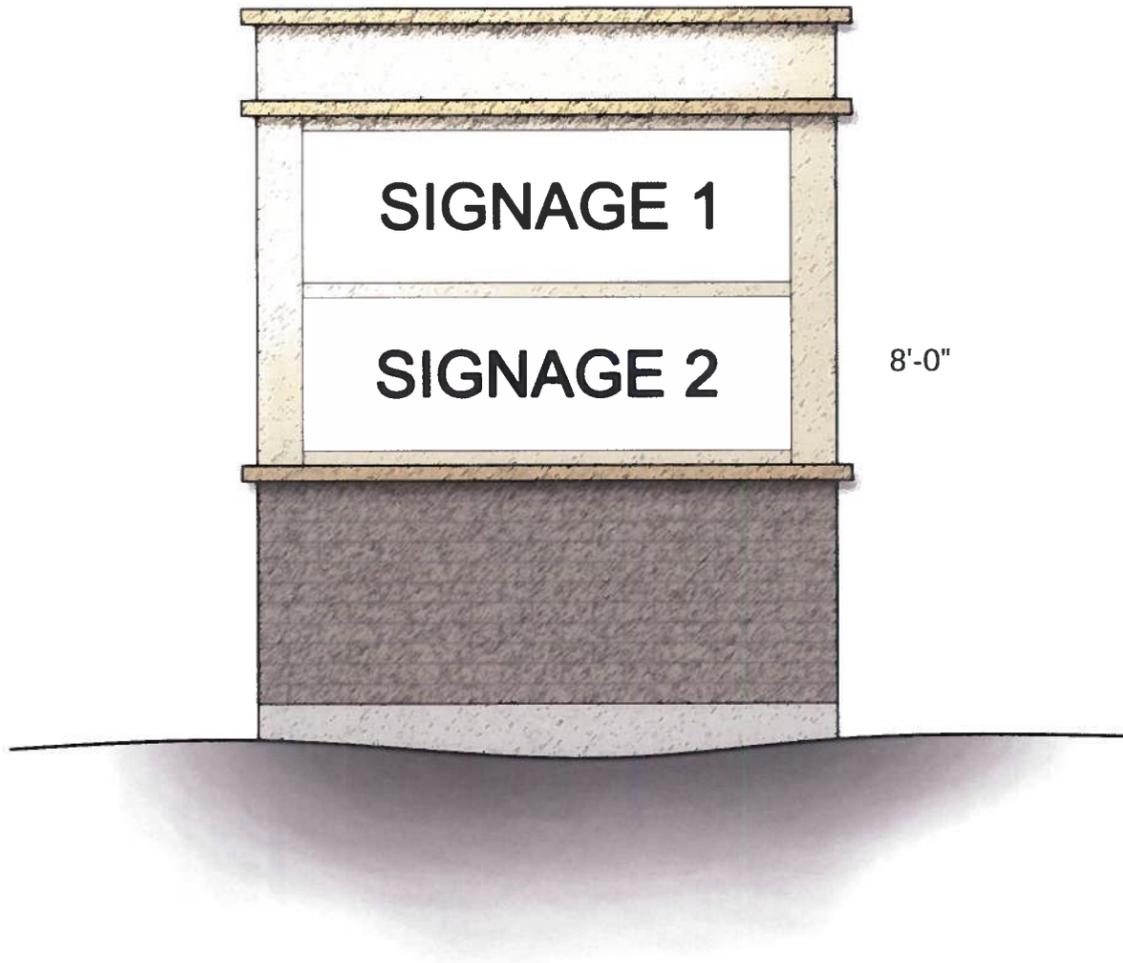
APPROVAL <input type="checkbox"/> YES <input type="checkbox"/> NO	OTHER
---	--------------

6'-8"

SIGNAGE 1

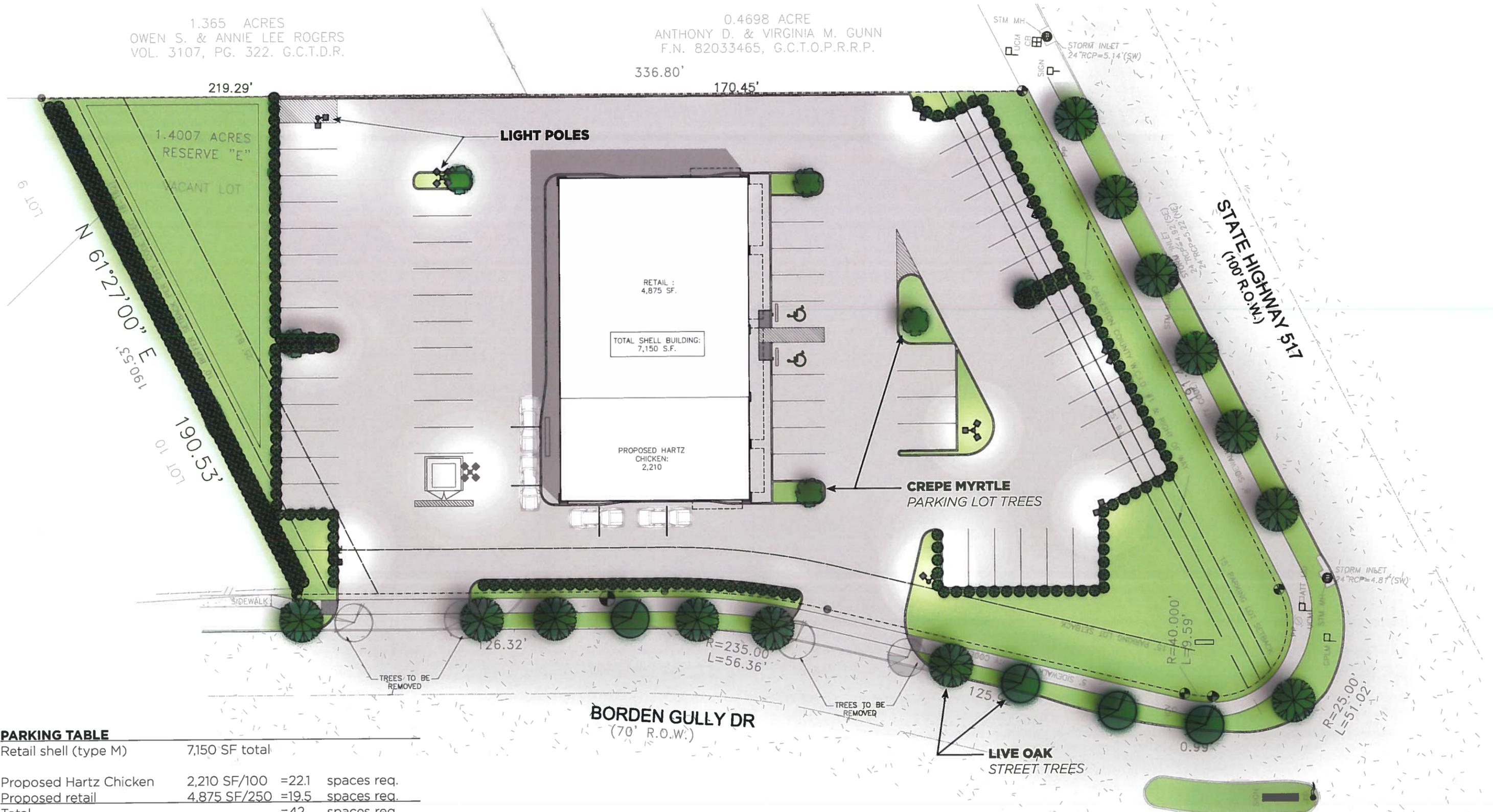
SIGNAGE 2

8'-0"



1.365 ACRES
OWEN S. & ANNIE LEE ROGERS
VOL. 3107, PG. 322. G.C.T.D.R.

0.4698 ACRE
ANTHONY D. & VIRGINIA M. GUNN
F.N. 82033465, G.C.T.O.P.R.R.P.



PARKING TABLE

Retail shell (type M)	7,150 SF total		
Proposed Hartz Chicken	2,210 SF/100	=22.1	spaces req.
Proposed retail	4,875 SF/250	=19.5	spaces req.
Total		=42	spaces req.
Total parking provided		=59	
(-15 spaces if FM 517 is widened)		=44	
ADA spaces provided		=2	

TXDOT HAS APPROVED STORM DRAINAGE CONNECTION
PERMIT # 20-0229

Retail Building

301 FM 517
Dickinson, TX 77539

Rendered Landscape Plan - 1/32" scale



Retail Building

301 FM 517
Dickinson, TX 77539
Rendered Elevation

CIVIL CONSTRUCTION PLANS FOR PROPOSED WATER, SANITARY, PAVING, GRADING, DRAINAGE & DETENTION FOR RETAIL @ 301 FM 517 FM 517 @ BORDEN GULLY DRIVE DICKINSON, TX, 77539



T.B.P.E. FIRM # 19146
INQUIRY@CEENGINEERS.COM
www.CEENGINEERS.com
(O): 832-491-1458

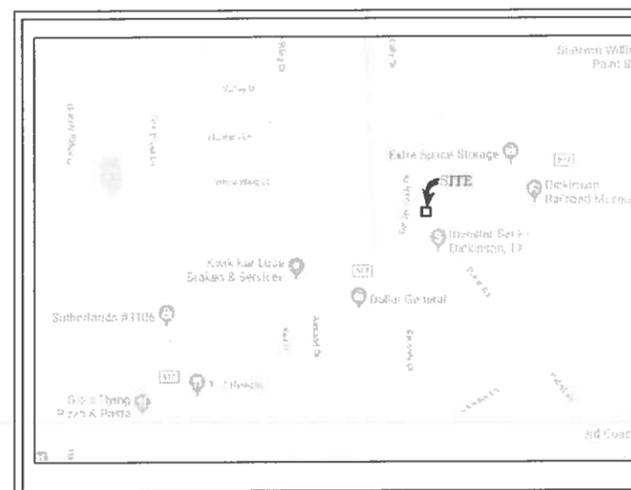
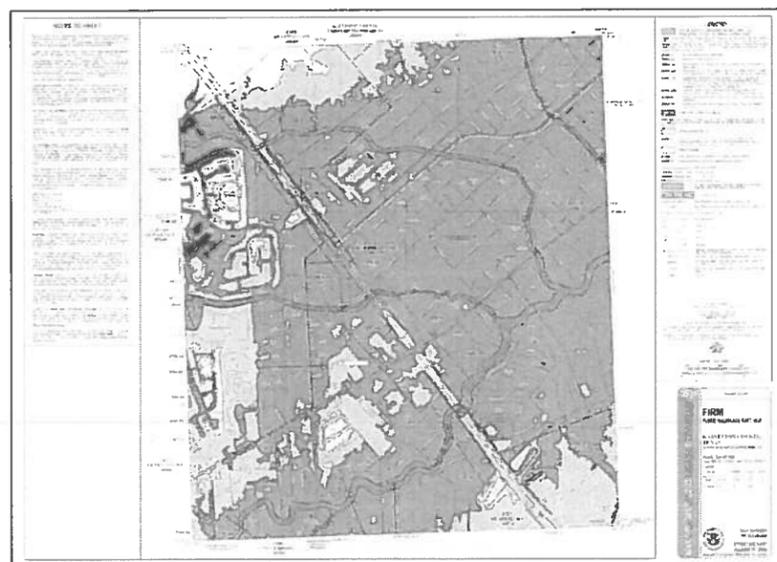
COPYRIGHT © BY CE ENGINEERS & DEVELOPMENT CONSULTANTS, INC. (CEEDC), ALL RIGHTS RESERVED. THIS DRAWING AND THE WORK DEPICTED HEREIN ARE THE SOLE PROPERTY OF CE ENGINEERS & DEVELOPMENT CONSULTANTS, INC. NO PORTION OF THIS DRAWING MAY BE COPIED WITHOUT THE EXPRESS WRITTEN CONSENT OF CEEDC, INC.

AREA MAP
(NOT TO SCALE)



INDEX OF DRAWINGS	
DRAWING NUMBER	DRAWING TITLE
C0.1	COVER SHEET
C2.0	DRAINAGE AND DETENTION PLAN
C2.5	GRADING AND PAVING PLAN
C3.0	UTILITY PLAN
C4.0	STORM WATER POLLUTION PREVENTION PLAN & DETAIL
C5.0	SITE CONSTRUCTION DETAILS
C7.0	PROPOSED DRIVEWAY @ FM 517

RETAIL @ 301 FM 517
 FM 517 @ BORDEN GULLY DRIVE
 DICKINSON, TX, 77539



VICINITY MAP
(NOT TO SCALE)



06-17-2020

REVISIONS		
No.	DATE	DESCRIPTION

GENERAL NOTES		
Scale	AS SHOWN	Issue Date
VER:	N/A	06-17-20
CEEDC Project Number	19-1045	CEEDC File Number
Designed By	CW	191045001
Checked By	CW	Date
		06-17-20

COVER SHEET

DRAWING: **C0.1**
SHEET: **1 / 7**

GENERAL NOTES: SITEWORK
(THESE NOTES CONTROL EXCEPT AS NOTED OTHERWISE IN PLANS & DETAILS)

A. EXISTING UTILITIES, FACILITIES & TREES

- CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANY 48 HOURS PRIOR TO EXCAVATING NEAR THEIR UTILITY.
- CONTRACTOR SHALL TAKE ALL DUE PRECAUTIONS TO PROTECT EXISTING FACILITIES FROM DAMAGE. ANY DAMAGE TO EXISTING FACILITIES INCURRED AS A RESULT OF CONSTRUCTION OPERATIONS WILL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- CONTRACTOR SHALL TAKE EXTRA CARE TO PROTECT TREES IN AREAS ADJACENT TO CONSTRUCTION.

B. STORM SEWER SYSTEM

- STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH HARRIS COUNTY SPECIFICATIONS.
- STORM SEWER PIPE SHALL BE HOPE SMOOTH BORE WITH RUBBER GASKET, U.N.O. ON PLANS.
- SET STORM SEWER MANHOLE RIMS TO MATCH FINISH GRADE.
- STORM SEWER INLETS SHALL BE PARK EQUIPMENT CATCH BASINS.
- CONCRETE PIPE SHALL BE BEDDED WITH CEMENT STABILIZED SAND IN ACCORDANCE WITH FORT BEND COUNTY SPECIFICATIONS FOR CONCRETE PIPE.
- PVC PIPE SHALL BE BEDDED WITH A MINIMUM OF ONE FOOT OF CEMENT STABILIZED SAND. CEMENT STABILIZED SAND SHALL BE LAID IN 6" LIFTS COMPOSED TO 95% STD. PROCTOR MAX DRY DENSITY (ASTM D698).
- EXISTING PAVEMENTS, CURBS, SIDEWALKS, AND DRIVEWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED TO THE FORT BEND COUNTY STANDARDS.
- CONDITION OF THE ROAD AND/OR RIGHT-OF-WAY, UPON COMPLETION OF JOB, SHALL BE AS GOOD AS OR BETTER THAN THE CONDITION PRIOR TO STARTING WORK.
- ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ANY DRAINAGE DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THE SATISFACTION OF THE OWNING AUTHORITY.
- CONTRACTOR SHALL VERIFY ADJACENT PROPERTY DRAINAGE PATTERNS, CONTACT ENGINEER IF ANY DRAINAGE PATTERN OBSTRUCTIONS OCCUR PRIOR TO ANY CONSTRUCTION.

Storm Sewer Calculation Form

PROJECT	RF12AR @ 301 FM 517	DESIGN STORM	2 YEAR C.R.V.F	I = 0.01	Fl - Flowrate	75.01
JOB NO	19-1045	bs	75.01	C = 0.05	HG = Hydraulic Gradient	0.20
SYSTEM	CW	ds	16.2	C = 0.05	UP = Upstream	OS = Downstream
CHECKED BY	CW	es	0.825	Q = C x I x A	Q = Cutler	W S E = Water Surface Elevation

LN	NH	AREA	FL	FL	FL	FL	FL	FL	FL	FL	FL	FL	FL	FL	FL	FL	FL	FL	FL	FL	
CA-1	DA-2	0.26	0.26	0.60	0.21	22.03	0.56	0.733	1.17	18	0.20	0.011	0.82	3.86	0.25	8.65	0.50	0.42	14.00	-	11.08
CA-2	DA-2	0.15	0.15	0.60	0.12	22.13	0.62	0.425	0.72	18	0.20	0.011	0.58	3.71	0.20	6.50	0.50	0.24	-	14.00	10.52
CA-2	DA-3	0.25	0.25	0.60	0.52	24.28	3.46	1.803	16.4	18	0.30	0.011	0.82	3.86	0.49	6.30	0.50	0.02	14.00	14.00	10.6
CA-3	DA-3	0.22	0.22	0.60	0.10	22.11	0.42	0.293	0.50	18	0.20	0.011	0.82	3.86	0.29	7.31	0.50	0.38	14.00	14.00	10.60
CA-1	DA-5	0.20	0.20	0.60	0.16	22.58	3.58	0.84	8.5	18	0.30	0.011	0.82	3.86	0.28	7.78	0.50	0.33	14.00	14.00	9.97
CA-3	CUT	0.32	1.40	0.60	1.12	25.61	3.37	3.763	6.0	24	0.20	0.013	10.14	3.23	0.12	5.2	0.50	0.20	14.00	13.60	9.00

RESTRICTOR CALCULATION

TOOT ALLOWABLE DISCHARGE CALCULATIONS

$T_c = 10 \text{ MIN. (Minimum Allowed)}$

$C (\text{RUNOFF COEFFICIENT}) = 0.8$

AMOUNT OF FRONTAGE = 225 FT.

TOTOT AREA = 0.744 AC.

$I (2\text{-yr}) = 5.35 \text{ in/hr (RE. TABLE 2 ON NEXT PAGE)}$

$Q = \text{Allowable Discharge (CFS)}$

$Q = C \times I \times A$

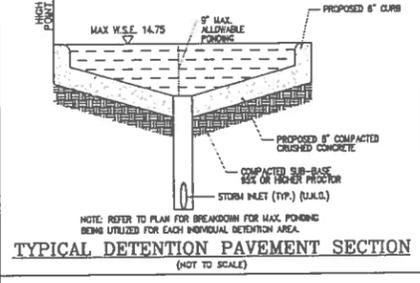
$Q = 0.8 \times 5.35 \times 0.744 = 3.18 \text{ CFS}$

PROPOSED RESTRICTOR

Actual discharge through 6" restrictor

$Q = CA^2 (2g)^{0.5} = 0.80 \times 0.20x \sqrt{2 \times 32.2 \times 7.20}$

$Q = 3.45 \text{ CFS}$



ANALYSIS OF IMPERVIOUS COVER

IMPERVIOUS TYPE	AREA OF EXISTING IMPERVIOUS COVER	AREA OF PROPOSED IMPERVIOUS COVER
BUILDING	0	7,150
PARKING LOT/DRIVEWAY	0	38,748
SIDEWALKS/PATIO	0	1,481
DETENTION POND	0	2,815
TOTAL AREA	0	47,174

SIZE OF LOT SF. OR ACRES	TOTAL IMP. COVER SF. OR ACRES	PERCENTAGE OF IMPERVIOUS COVER
1,4007	1,003	77.32%

LEGAL DESCRIPTION

A 1,4007 ACRES BEING RESERVE "C" PAGE MAP 33, RECORDED IN PLAT NO. 2006A, GALVESTON COUNTY RECORDS, GALVESTON COUNTY, TX.

BENCHMARK

ALL THE ELEVATIONS SHOWN HEREON ARE IN NAD 1988 DATUM, 2001 ADL, AND ARE BASED ON HARRIS COUNTY TAMP MON RM 010005, ELEVATION=12.18'

FLOOD PLAIN DATA

THIS PROPERTY LIES ENTIRELY IN ZONE AE OF THE FLOOD INSURANCE RATE MAP, MAP NO. 4810C-0229C WHICH BEARS AN EFFECTIVE DATE AUGUST 15, 2010. BASE FLOOD ELEVATION=14.5'

NOTE: PRIOR TO CONSTRUCTION

ALL DIMENSIONS MUST BE CHECKED AND VERIFIED BEFORE CONSTRUCTION MAY BEGIN. IN CASE OF A DISCREPANCY/LEGAL CONTACT GENERAL CONTRACTOR IMMEDIATELY.

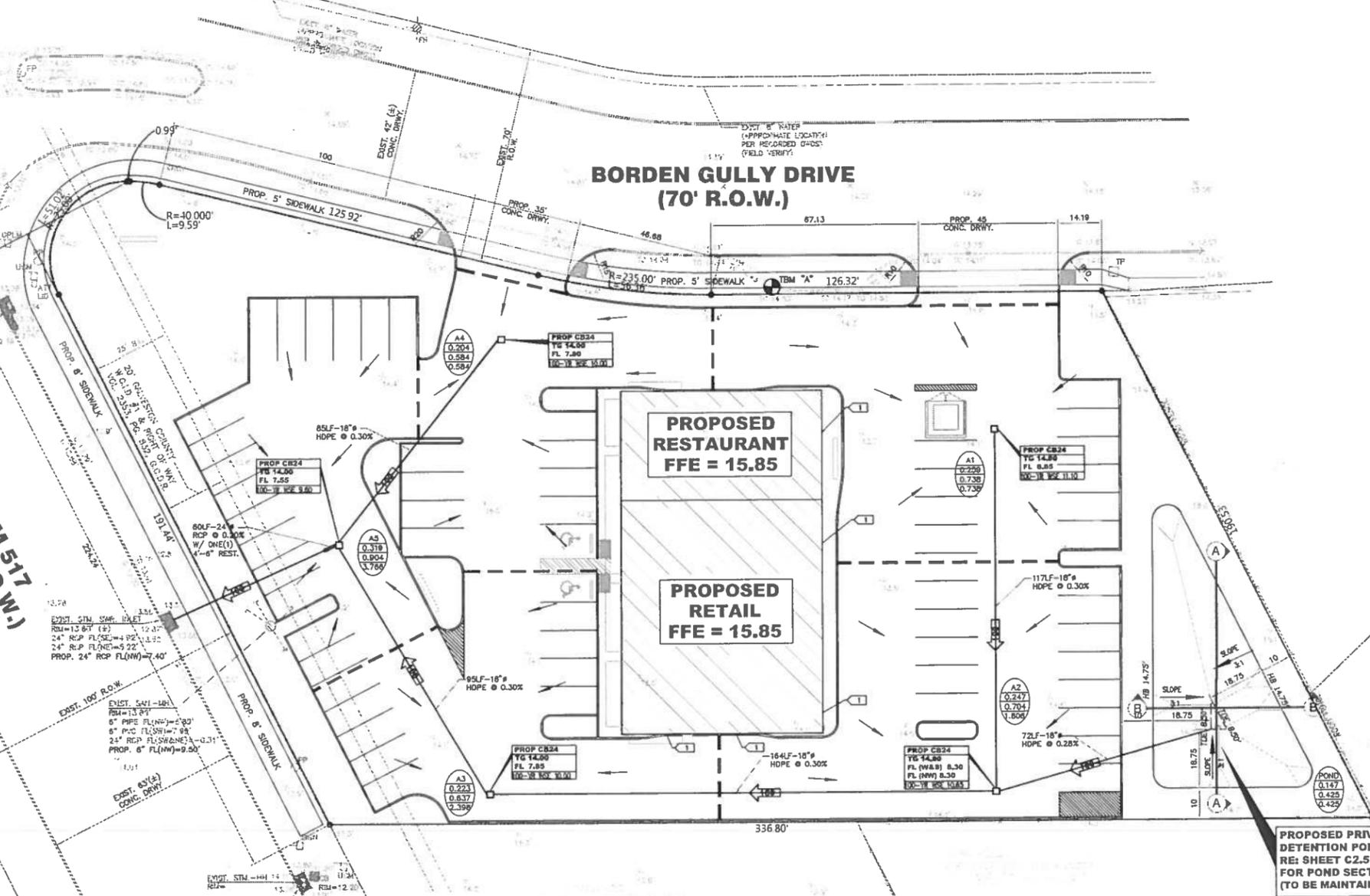


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NOTE:

IN AREAS WHERE THE PROJECT DESIGN INCORPORATES FILL ADJACENT TO NEIGHBORING LOTS, THE CONTRACTOR SHALL IMPLEMENT GRADING AND/OR PERIMETER RUNOFF CATCHMENT DEVICES (E.G. - PERMEABLE DITCHES) DURING CONSTRUCTION TO ENSURE THAT ADJACENT PARCELS BORDERING THE PROJECT SITE DO NOT EXPERIENCE INTERIM DRAINAGE FLOWS THAT EXCEED PRE-DEVELOPMENT CONDITIONS FOR STORM EVENTS UP TO AND INCLUDING THE CURRENT STORM DRAINAGE DESIGN CRITERIA AT THE TIME OF PERMIT OR CARRY SEDIMENT GENERATED AS PART OF CONSTRUCTION ACTIVITIES, WHERE APPLICABLE. THESE PRACTICES ARE IN ADDITION TO THE STANDARD STORM WATER POLLUTION PREVENTION DESIGN AND SHALL INCLUDE ADDITIONAL DITCHES REDIRECTING SITE DRAINAGE OR TEMPORARY PAVING. THE NOTE IS NOT INTENDED TO ADDRESS ANY LIABILITY OR RESPONSIBILITY UNDER TEXAS WATER CODE 11.086.



KEYED PLAN NOTES:

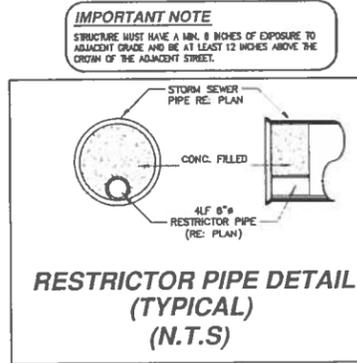
CONTRACTOR SHALL CONNECT ALL DOWNSPOUTS W/ 6" HOPE PIPE TO RE-ARCH PLAN FOR DOWNSPOUT SIZE AND LOCATION.

LEGEND

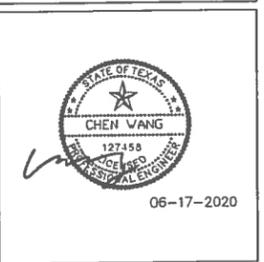
- PROPERTY LINE
- STORM SEWER PIPE
- HIGH POINT
- FLOW DIRECTION
- STORM GRATE INLET
- STORM JUNCTION BOX
- STORM/SANITARY SEWER MANHOLE
- DRAINAGE AREA DESIGNATION
- DRAINAGE AREA (ACRES)
- DRAINAGE AREA FLOW RATE (CFS)
- ACCUM FLOW RATE (CFS)
- 100-YR SHEET FLOW
- OFF-SITE SHEET FLOW ARROWS
- EXISTING GRADE ELEVATIONS
- FINISH FLOOR ELEVATION
- TOP OF GRATE ELEVATION
- FLOW LINE ELEVATION
- PROPOSED CURB ELEVATION
- PROPOSED TOP OF PAVEMENT ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED TOP OF SIDEWALK ELEVATION
- PROPOSED FINISHED GRADE ELEVATION
- MATCH EXISTING ELEVATION

IMPORTANT NOTES

- CONTRACTOR SHALL REVIEW ARCHITECTURAL AND CIVIL DRAWINGS JOINTLY TO ENSURE COORDINATION OF ALL PHASES OF CONSTRUCTION DESCRIBED IN THESE DRAWINGS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF BOTH ARCHITECT AND ENGINEER, PRIOR TO PROCEEDING WITH CONSTRUCTION WORK.
- CONTRACTOR SHALL FIELD-VERIFY ALL EXISTING DIMENSIONS & CONDITIONS & SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES THAT MAY AFFECT THE WORK DESCRIBED HEREIN.
- OVERHEAD AND UNDERGROUND UTILITIES MAY EXIST IN THE VICINITY OF THIS PROJECT. LOCATIONS SHOWN FOR EXISTING UTILITIES ARE APPROXIMATE AND OTHER UTILITIES MAY EXIST IN THE VICINITY OF THE PROJECT WHICH ARE NOT SHOWN ON THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES IN THE VICINITY OF THE PROJECT, PRIOR TO BEGINNING CONSTRUCTION OR DEMOLITION IF ANY DISCREPANCIES EXIST, NOTIFY ENGINEER IMMEDIATELY.



RETAIL @ 301 FM 517
FM 517 @ BORDEN GULLY DRIVE
DICKINSON, TX, 77539



REVISIONS

No.	DATE	DESCRIPTION
1	04-27-20	COO REVIEW COMMENTS 04-26-20

GENERAL NOTES

Scale	HOZ/1" = 20'	Vertical Date
VERI	N/A	06-17-20
CEEDC Project Number	19-1045	CEEDC File Number
Checked By	CW	Date
		06-17-20

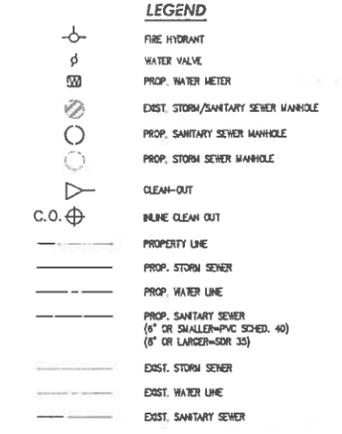
DRAINAGE AND DETENTION PLAN

DRAWING: **C2.0**
SHEET: **2 / 7**

PROTECTION REQUIREMENTS AT WATER LINE(WL)-SANITARY SEWER (SS) CROSSINGS	PROPOSED WATER LINE		PROPOSED SANITARY SEWER	
	EXISTING	PROPOSED	EXISTING	PROPOSED
MINIMUM 2 FEET VERTICAL CLEARANCE	4	4	4	4
PLACE 1 FULL SECTION (MIN 18 FT) OF HL COVERED AT SS CROSSING, PROVIDE RESTRAINED JOINTS IN N. SPACES AT LEAST 8 FT HORIZONTALLY FROM CENTERLINE OF HL	4	4	4	4
PLACE 1 FULL SECTION (MIN 18 FT) OF SS COVERED AT HL CROSSING, PROVIDE RESTRAINED JOINTS ON SS, SPACED AT LEAST 8 FT HORIZONTALLY FROM CENTERLINE OF HL	4	4	4	4
REPLACE 1 FULL SECTION OF EXISTING SS WITH PRESSURE-RATED DWP OR PRESSURE-RATED PVC PIPE WITH ADAPTERS AND RESTRAINED JOINTS COVERED AT HL CROSSING	2	3	2	3
PROVIDE DWP FOR SMALL DIAMETER HL (LESS THAN 24 INCHES), PVC PIPE IS ONLY ALLOWED IF CHECKED AS PER TAC § 286.44, AND USE RESTRAINED JOINTS FOR BOTH DWP AND PVC PIPE	2	3	2	3
BASED SS WITH CSB FOR THE TOTAL LENGTH OF 1 PIPE SEGMENT PLUS 1 FOOT BEYOND THE JOINTS ON EACH END	2	3	2	3
PLACE 1 FULL SECTION (MIN 18 FT) OF HL COVERED AT HL CROSSING, PROVIDE RESTRAINED JOINTS ON SS, SPACED AT LEAST 8 FT HORIZONTALLY FROM CENTERLINE OF HL OR DICASE IN A JOINT OF 150 PSI PRESSURE PIPE (MIN 18 FT) TWO MINIMUM SPACES LARGER WITH SPACERS AT 8 FT (OR LESS) INTERVALS	4	4	4	4
MINIMUM CLEARANCE IS 2 FEET FOR NON-PRESSURE RATED SS AND 1 FOOT FOR PRESSURE RATED SS WITH AT LEAST 150 PSI PRESSURE RATING	4	4	4	4
REQUIRED IF EXISTING SS IS RETURNED AND/OR THERE IS EVIDENCE OF LEAKAGE	4	4	4	4
NOT REQUIRED FOR ALIGNED HL UNLESS THERE IS EVIDENCE OF LEAKAGE, COMPLETELY FULL ALIGNED HOLE WITH BENTONITE/CLAY MORTAR	4	4	4	4
NOT REQUIRED FOR ALIGNED SS, COMPLETELY FULL ALIGNED HOLE WITH BENTONITE/CLAY MORTAR	4	4	4	4

- ### KEYED PLAN NOTES
- 2" DOMESTIC WATER METER WITH 2" STD. CONNECTION (SEE METER DETAIL ON SHEET C3.0).
 - 3" REDUCED PRESSURE BACK FLOW PREVENTOR (RBP) (SEE DETAIL ON SHEET C3.0).
 - 8" SANITARY SEWER PVC SCH 40 LEAD @ 2.0% (REFER TO INTERIOR PLUMBING DRAWINGS).
 - GREASE TRAP BY OTHERS (REFER TO INTERIOR PLUMBING DRAWINGS).
 - SAMPLING WELL BY OTHERS (REFER TO PLUMBING DRAWINGS FOR DETAILS).
 - CONTRACTOR TO INSTALL EXTERNAL DROP CONNECTION AT SANITARY MANHOLE, CORE-DRILL PENETRATION & USE RESILIENT CONNECTOR.
 - TWO 4" HEAVY DUTY (SCHEDULE 40) PVC CONDUITS, CAPPED AT BOTH ENDS, SHALL BE INSTALLED UNDER ALL CONCRETE APRONS, AND SHALL EXTEND 24" BEYOND BACK OF CURB. PULL STRINGS TO BE PLACED WITHIN EACH CONDUIT.
 - 1" IRRIGATION METER WITH RPP, CAP WATER LINE. REFER TO IRRIGATION PLANS.

- ### TERRANOVA WEST MUD NOTES:
- #### WATER NOTES:
- TERRANOVA WEST MUD SHALL MAKE ALL DOMESTIC WATER CONNECTIONS AND SET METERS. OWNER OR CONTRACTOR SHALL CONTACT THE DISTRICT OPERATOR TO SCHEDULE CONNECTION AND METER WORK.
 - DOMESTIC WATER LINES SHALL HAVE A REDUCED PRESSURE TYPE BACKFLOW PREVENTOR, INSTALLED BY THE CONTRACTOR.
 - IRRIGATION WATER LINES SHALL HAVE A PRESSURE VACUUM BREAKER TYPE BACKFLOW PREVENTOR.
 - ALL BACKFLOW PREVENTORS SHALL BE INSPECTED BY A TREC CERTIFIED INSPECTOR. INSPECTION CERTIFICATION SHALL BE PROVIDED TO THE TERRANOVA WEST MUD.
 - THE CONTRACTOR WILL NOTIFY THE DISTRICT OPERATOR AND DISTRICT ENGINEER AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION. A REPRESENTATIVE OF THE DISTRICT'S OPERATOR OR ENGINEER SHALL BE PRESENT AT ANY CONNECTIONS TO THE DISTRICT'S FACILITIES.
 - CONTRACTOR MUST CONTACT THE DISTRICT'S OPERATOR FOR TAP FEES, INSPECTION FEES AND ANY ADDITIONAL REQUIREMENTS RELATED TO CONNECTION TO THE DISTRICT'S FACILITIES PRIOR TO BACKFILLING ANY UTILITIES ON SITE.
 - THE CONTRACTOR SHALL RESTORE ANY DISTURBED PAVING OR FACILITIES TO PRE-CONSTRUCTION CONDITIONS OR BETTER AT NO COST TO THE DISTRICT.
- #### SANITARY SEWER NOTES:
- CONTRACTOR SHALL MAKE SANITARY SEWER TAPS AND SCHEDULE INSPECTION WITH DISTRICT OPERATOR BEFORE BACKFILLING CONNECTION.
 - BUILDING PLUMBING SHALL BE INSPECTED BY THE DISTRICT OPERATOR PRIOR TO RECEIVING SERVICE.
 - THE WATER TAPS WILL BE PERFORMED BY THE OPERATOR. CONTRACTOR TO CONTACT OPERATOR A MIN. 48 HOURS PRIOR TO CONSTRUCTION OF SAID UTILITIES.



FIRE LINE NOTE

UNDERGROUND FIRE LINES MUST BE SUBMITTED TO FIRE PROTECTION GROUP FOR REVIEW AND A NOTIFICATION OF CONSTRUCTION IN RIGHT-OF-WAY PERMIT WILL BE REQUIRED FOR THE PROPOSED WORK WITHIN HARRIS COUNTY RIGHT-OF-WAY.

- ### GENERAL NOTES - UTILITIES
- CONTRACTOR SHALL FIELD-VERIFY ALL EXISTING UTILITY LOCATIONS WITHIN 14 DAYS OF MOBILIZATION. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE.
 - CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR SERVICE ORINATION AND CONNECTION.
 - ALL EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE AND ARE BASED ON BEST INFORMATION AVAILABLE. ADDITIONAL UTILITIES MAY BE PRESENT. UNCHARTERED UTILITIES BE ENCOUNTERED DURING EXCAVATION OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY FOR INSTRUCTION.
 - CONTRACTOR SHALL PAY ALL FEES AND OBTAIN ALL PERMITS.
 - CONTRACTOR SHALL NOTIFY LOCAL UTILITY LOCATOR SERVICE (CALL 811) OF INTENDED EXCAVATION/UTILITY OPERATION.
 - CONTRACTOR SHALL ENSURE NO DAMAGE OF ANY EXISTING ITEMS ON-SITE.
 - CONTRACTOR SHALL KEEP THE SITE CLEAN OF DEBRIS AND DISBURSE ANY EROSION CONTROL MEASURES ARE ADEQUATELY PLACED.
 - CONTRACTOR TO COORDINATE LOCATIONS OF UNDERGROUND IRRIGATION SLEEVES AND ALL OTHER UTILITIES PRIOR TO PAVING.
 - CONTRACTOR SHALL ADJUST ALL EXISTING CASTINGS TO MATCH PROPOSED FINISH GRADE.
 - ALL CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE U.S. OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION. COPIES OF OSHA STANDARDS MAY BE PURCHASED FROM THE U.S. GOVERNMENT PRINTING OFFICE, INFORMATION AND RELATED REFERENCE MATERIALS MAY BE PURCHASED FROM GSA, 903 SAN JACINTO, RM 319, AUSTIN, TX 78701, TEL: (512) 918-5783.
 - ALL SANITARY SEWERS CROSSING WATER LINES WITH A 1-FOOT TO 8-FOOT CLEARANCE SHALL HAVE A MINIMUM OF 12\"/>

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06-17-2020

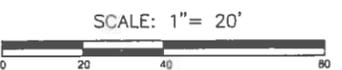
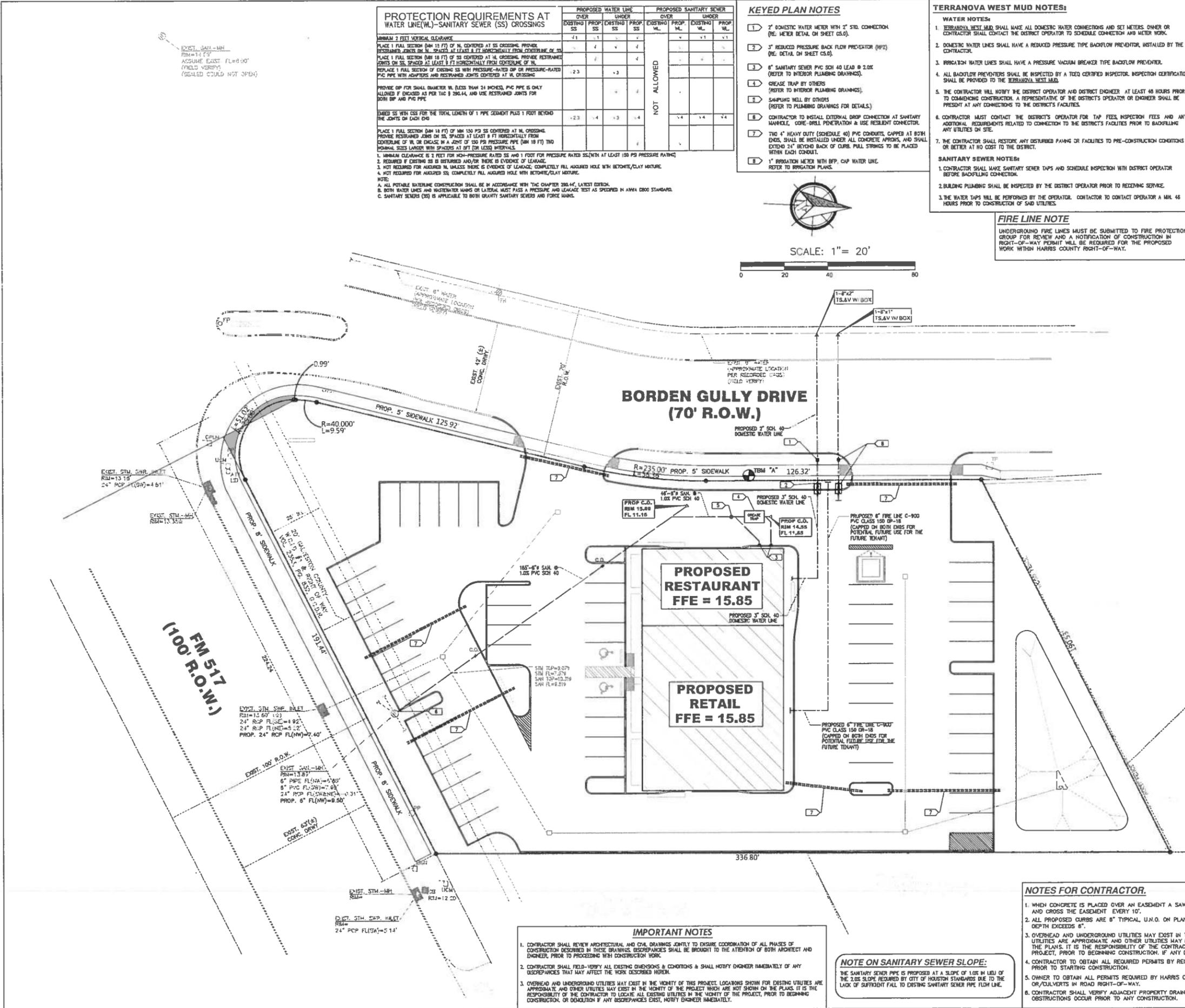
REVISIONS	
No.	DESCRIPTION

GENERAL NOTES	
Scale: HORIZ: 1"=20'	Issue Date: 06-17-20
VERT: N/A	CEEDC Project Number: 19-1045
CEEDC File Number: 191045C30	Drawn By: CW
Checked By: CW	Date: 06-17-20
	Date: 06-17-20

UTILITY PLAN

DRAWING: **C3.0**

SHEET: **4 / 7**



- ### IMPORTANT NOTES
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NOTE ON SANITARY SEWER SLOPE:
 THE SANITARY SEWER PIPE IS PROPOSED AT A SLOPE OF 1.0% IN LEVY OF THE 2.0% SLOPE REQUIRED BY CITY OF HOUSTON STANDARDS DUE TO THE LACK OF SUFFICIENT FALL TO EXISTING SANITARY SEWER PIPE FLOW LINE.

- ### NOTES FOR CONTRACTOR.
- WHEN CONCRETE IS PLACED OVER AN EASEMENT A SAWCUT OR EXPANSION JOINT MUST BE PLACED AT THE EASEMENT LINE AND CROSS THE EASEMENT EVERY 10'.
 - ALL PROPOSED CURBS ARE 8" TYPICAL, U.N.O. ON PLANS. CONTRACTOR SHALL CONTACT ENGINEER/ARCHITECT IF CURB DEPTH EXCEEDS 8".
 - OVERHEAD AND UNDERGROUND UTILITIES MAY EXIST IN THE VICINITY OF THIS PROJECT. LOCATIONS SHOWN FOR EXISTING UTILITIES ARE APPROXIMATE AND OTHER UTILITIES MAY EXIST IN THE VICINITY OF THE PROJECT WHICH ARE NOT SHOWN ON THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES IN THE VICINITY OF THE PROJECT, PRIOR TO BEGINNING CONSTRUCTION. IF ANY DISCREPANCIES EXIST, NOTIFY ENGINEER IMMEDIATELY.
 - CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS BY REGULATIONS OF HARRIS COUNTY, TEXAS FOR FLOOD PLAIN MANAGEMENT PRIOR TO STARTING CONSTRUCTION.
 - OWNER TO OBTAIN ALL PERMITS REQUIRED BY HARRIS COUNTY, TEXAS PRIOR TO STARTING CONSTRUCTION OF UTILITY AND/OR CONCRETS IN ROAD RIGHT-OF-WAY.
 - CONTRACTOR SHALL VERIFY ADJACENT PROPERTY DRAINAGE PATTERNS. CONTACT ENGINEER IF ANY DRAINAGE PATTERN OBSTRUCTIONS OCCUR PRIOR TO ANY CONSTRUCTION.

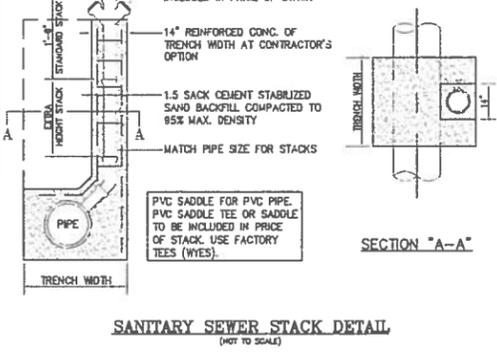
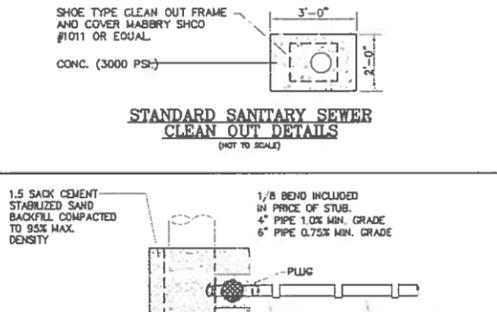
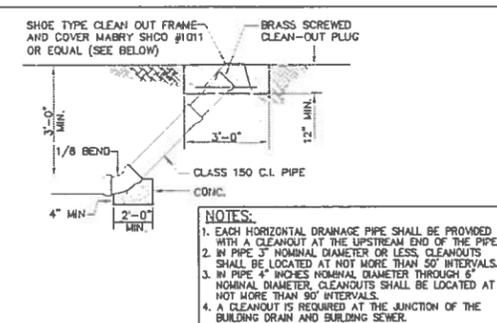
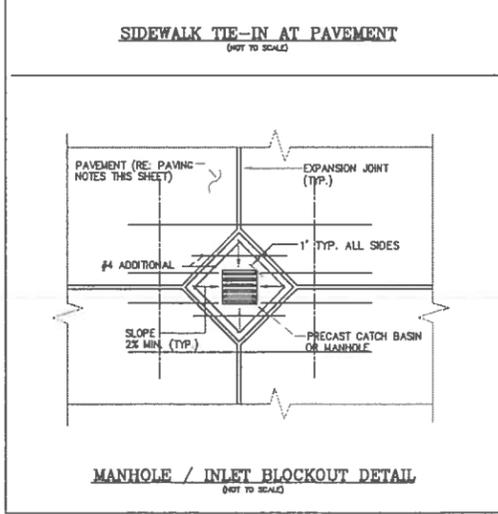
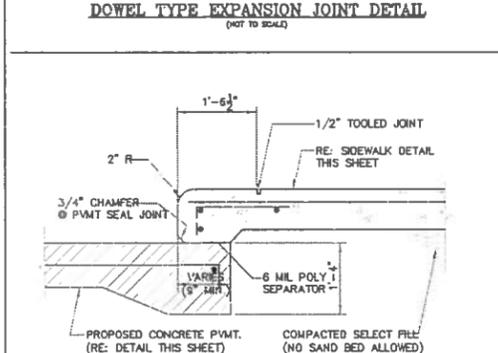
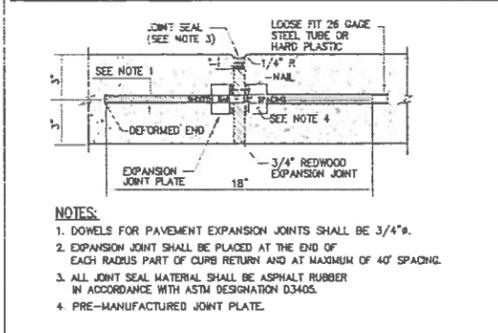
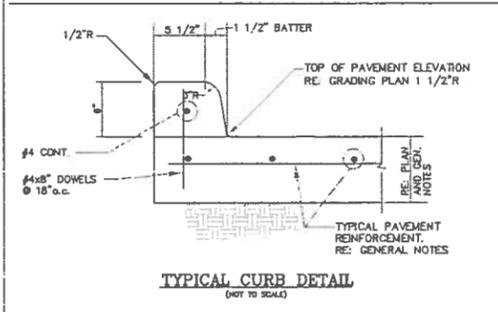
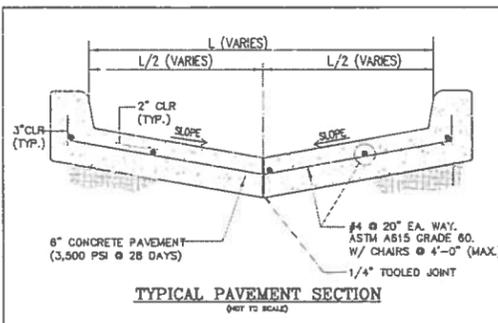
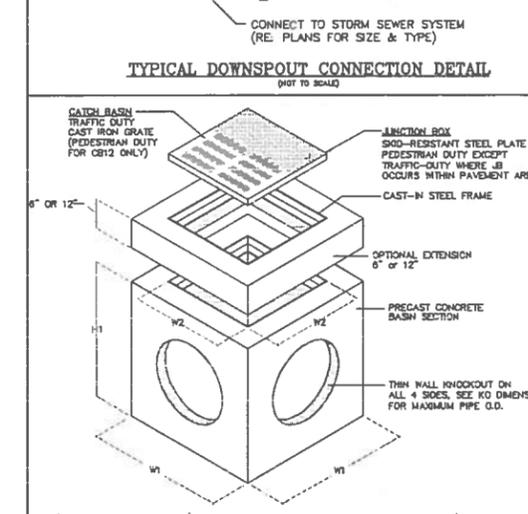
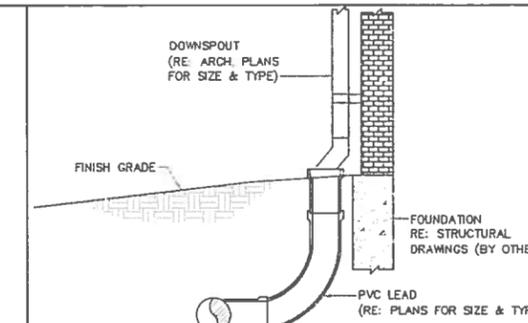
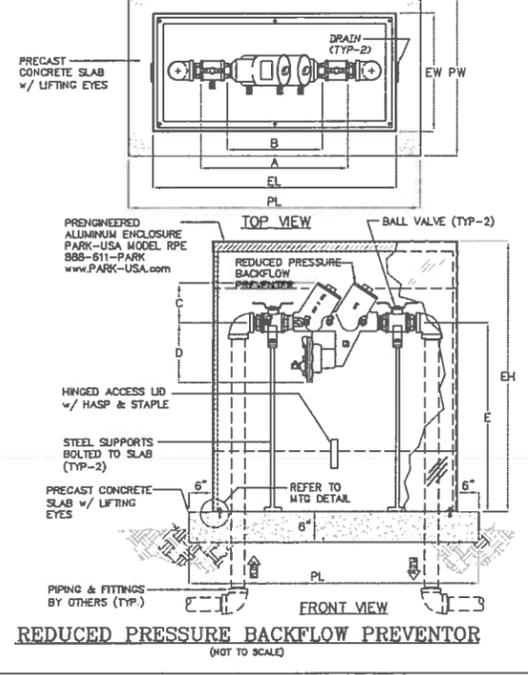
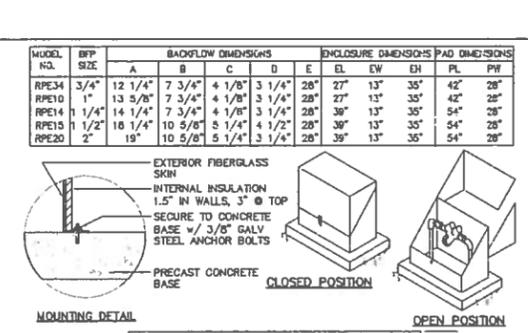


TABLE
REINFORCING STEEL INFORMATION FOR 4-1/2" THICK SIDEWALKS
EXPANSION JOINT SPACING = 40 FT
F_c = 3,000 PSI AND F_y = 60,000 PSI

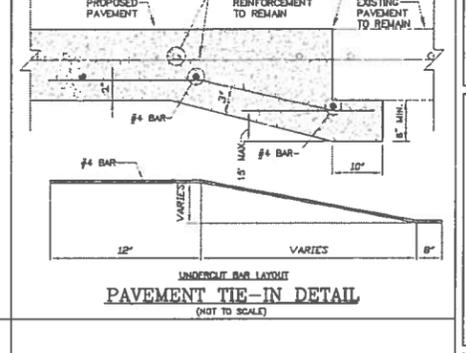
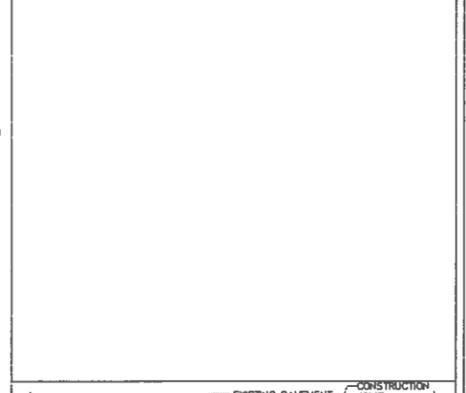
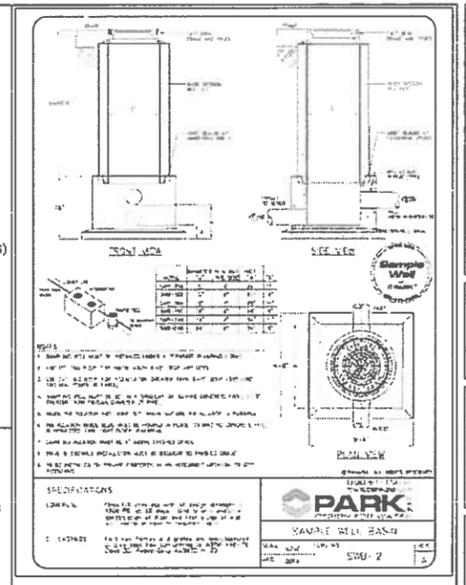
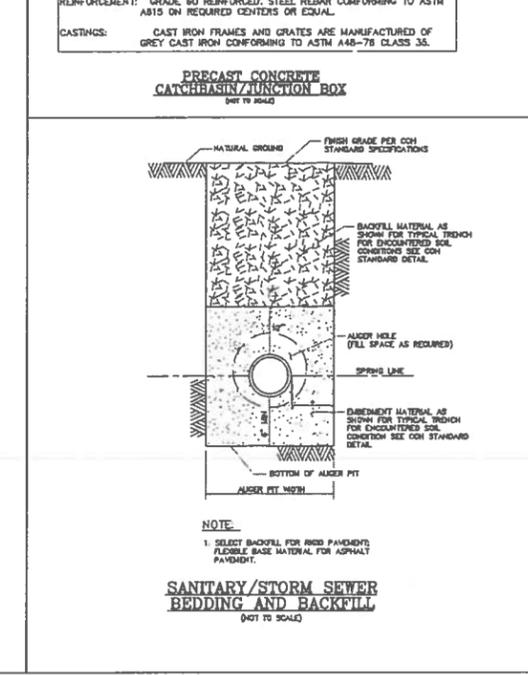
SIDEWALK THICKNESS (IN)	SIDEWALK WIDTH (FT)	LONGITUDINAL STEEL		TRANSVERSE STEEL	
		NUMBER OF BARS	SPACING (IN)	END BAR SPACING (IN)	# 3 BARS SPACING (IN)
4.5	4	3	21	3	48
4.5	5	3	27	3	48
4.5	6	4	25	3	48
4.5	7	4	19.5	3	48
4.5	8	4	22.5	3	48
4.5	9	5	20	3	48
4.5	10	6	18	3	48



MODEL NO.	BFP SIZE	BACKFLOW DIMENSIONS					ENCLOSURE DIMENSIONS				PAD DIMENSIONS	
		A	B	C	D	E	EL	EW	EH	PL	PW	
CB12	1 1/2"	12 1/4"	7 3/4"	4 1/8"	3 1/4"	28"	27"	13"	35"	42"	28"	
CB14	2"	13 5/8"	7 3/4"	4 1/8"	3 1/4"	28"	27"	13"	35"	42"	28"	
CB18	2 1/2"	14 1/4"	7 3/4"	4 1/8"	3 1/4"	28"	27"	13"	35"	54"	28"	
CB20	3"	18 1/4"	10 5/8"	5 1/4"	4 1/2"	28"	27"	13"	35"	54"	28"	
CB24	3 1/2"	19"	10 5/8"	5 1/4"	3 1/4"	28"	27"	13"	35"	54"	28"	



MODEL #	CATCH BASIN	DIMENSIONS					WEIGHT LBS
		W1	W2	H1	KD	GRATE SIZE	
CB12	15"	10"	21"	10"	12"x12"x1"	180	
CB14	18"	14"	28"	12"	14"x14"x1-1/2"	800	
CB18	24"	18"	34"	15"	18"x18"x1-1/2"	1,000	
CB20	28"	18"	34"	17"	20"x20"x1-1/2"	1,335	
CB24	32"	22"	41"	22"	24"x24"x2"	2,240	
CB27	37"	25"	42"	24"	27"x27"x2"	2,675	
CB30	42"	30"	42"	30"	32"x32"x2"	3,675	
CB36	48"	36"	42"	32"	36"x36"x2"	4,585	
CB48	60"	48"	54"	48"	36"x36"x2"	6,900	
CB60	72"	60"	66"	60"	36"x36"x2"	13,650	
CB72	84"	72"	78"	72"	36"x36"x2"	18,000	
CB84	96"	84"	84"	84"	36"x36"x2"	23,000	



REVISIONS

No.	DATE	DESCRIPTION

GENERAL NOTES

Scale: HORIZ: N/A, VERT: N/A, Issue Date: 06-17-20
 CEEDC Project Number: 19-1045, CEEDC File Number: 191045C500, Date: 06-17-20
 Drawn By: CW, Date: 06-17-20
 Checked By: CW, Date: 06-17-20

SITE CONSTRUCTION DETAILS

DRAWING: **C5.0**
 SHEET: **6 / 7**

CE
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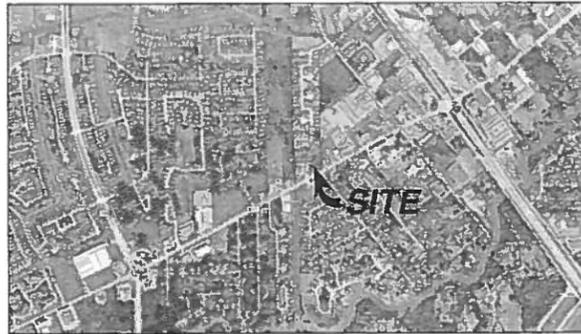
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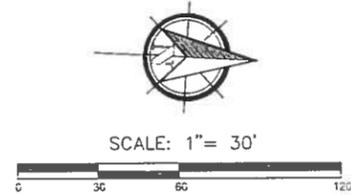
STATE OF TEXAS
 CHEN WANG
 127458
 LICENSED PROFESSIONAL ENGINEER

INSTALLATION REQUIREMENTS

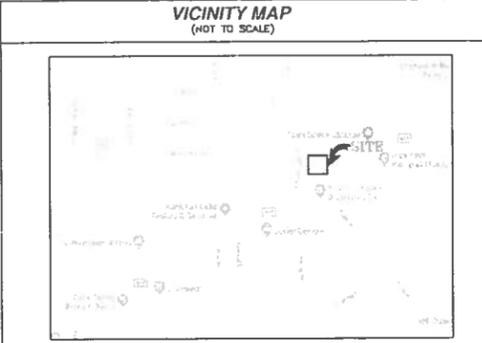
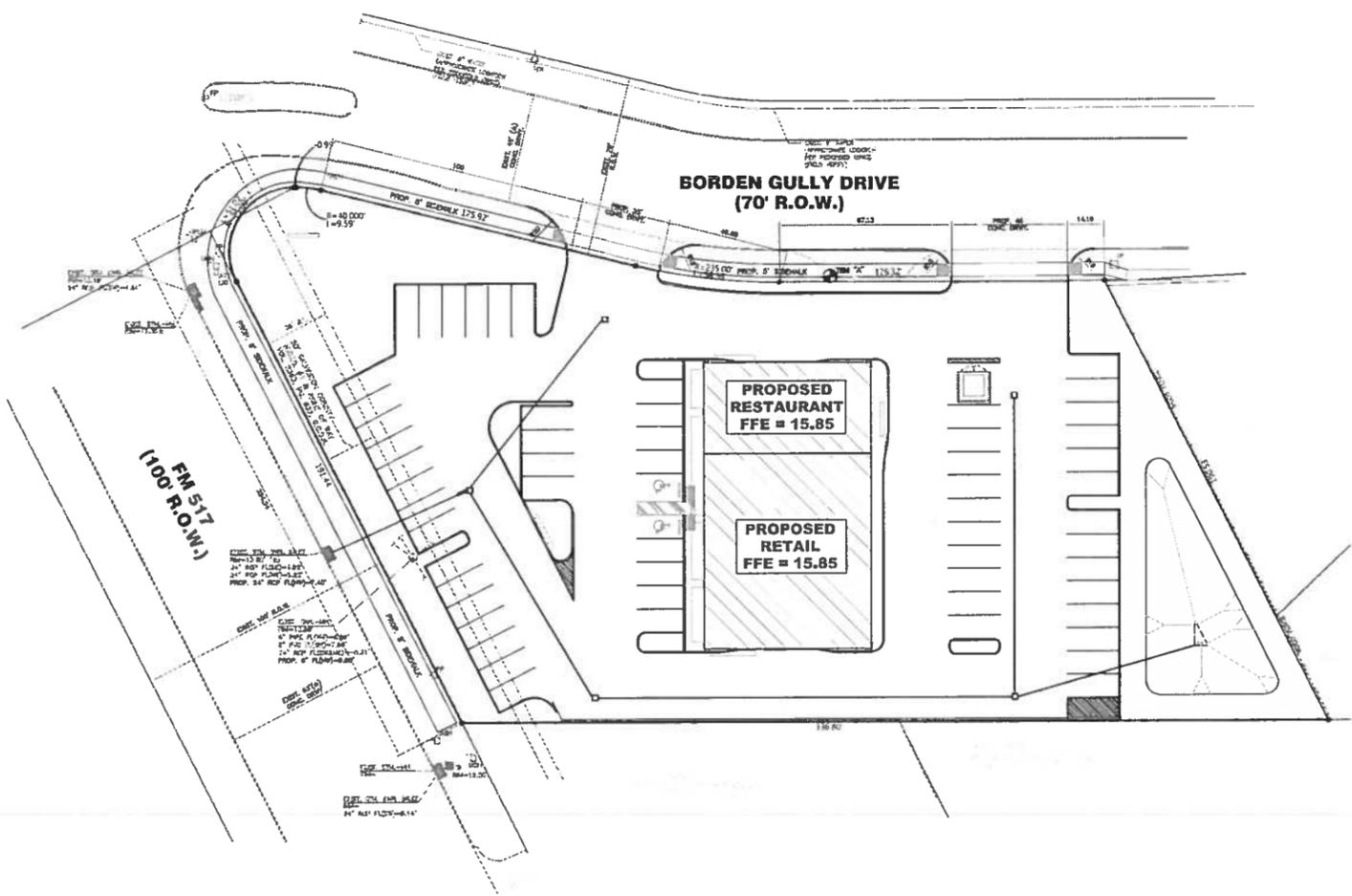
- If "X" is greater than 1' and "Y" is less than 2', use minimum 18 ft joint of pressure-rated pipe per COH STANDARD DRAWING.
- If "X" is greater than 2' and "Y" is less than 8', use GRAVITY SEWER PIPE IN CEMENT-STABILIZED SAND EMBEDMENT.
- If "X" is greater than 8', use STANDARD EMBEDMENT AND NORMAL JOINT SPACING.



SEE SHEET
 19-1045-01
 FOR
 24" RCP
 12" RCP
 18" RCP
 24" RCP
 30" RCP
 36" RCP
 42" RCP
 48" RCP
 54" RCP
 60" RCP
 66" RCP
 72" RCP
 78" RCP
 84" RCP
 90" RCP
 96" RCP
 102" RCP
 108" RCP
 114" RCP
 120" RCP
 126" RCP
 132" RCP
 138" RCP
 144" RCP
 150" RCP
 156" RCP
 162" RCP
 168" RCP
 174" RCP
 180" RCP
 186" RCP
 192" RCP
 198" RCP
 204" RCP
 210" RCP
 216" RCP
 222" RCP
 228" RCP
 234" RCP
 240" RCP
 246" RCP
 252" RCP
 258" RCP
 264" RCP
 270" RCP
 276" RCP
 282" RCP
 288" RCP
 294" RCP
 300" RCP



POSTED SPEED 40 M.P.H.
 COLOR OF SIGN - WHITE



VICINITY MAP
 (NOT TO SCALE)

LEGAL DESCRIPTION
 A 1.4007 ACRES BEING RESERVE "E" PAGE MAP 33, RECORDED IN PLAT NO. 2006A, GALVESTON COUNTY RECORDS, GALVESTON COUNTY, TX

BENCHMARK
 ALL THE ELEVATIONS SHOWN HEREON ARE IN NAVD 1988 DATUM, 2001 ADL, AND ARE BASED ON HARRIS COUNTY TSAPP MON RM 01008S, ELEVATION=12.18'
 TBM "A" CUT BOX ON TOP OF CURB ALONG BORDEN GULLY DRIVE
 ELEVATION = 14.56' NAVD 1988, 2001 ADL

FLOOD PLAIN DATA
 THIS PROPERTY LIES ENTIRELY IN ZONE AE OF THE FLOOD INSURANCE RATE MAP, MAP NO. 48167C-0229G WHICH BEARS AN EFFECTIVE DATE, AUGUST 15, 2015.

GENERAL NOTES: SITEWORK
 THESE NOTES CONTROL, EXCEPT AS NOTED OTHERWISE IN PLANS & DETAILS

- A. EXISTING UTILITIES, FACILITIES & TREES**
- CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION OF PROPOSED FACILITIES NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCIES.
 - CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANY 48 HOURS PRIOR TO DIGGING NEAR THEIR UTILITY.
 - CONTRACTOR SHALL TAKE ALL DUE PRECAUTIONS TO PROTECT EXISTING FACILITIES FROM DAMAGE. ANY DAMAGE TO EXISTING FACILITIES INCURRED AS A RESULT OF CONSTRUCTION OPERATIONS WILL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
 - CONTRACTOR SHALL TAKE EXTRA CARE TO PROTECT TREES IN AREAS ADJACENT TO CONSTRUCTION.

- B. STORM SEWER SYSTEM**
- STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF HOUSTON SPECIFICATION.
 - STORM SEWER PIPE SHALL BE HOPE SMOOTH BORE WITH RUBBER GASKET, U.L.G. ON PLANS.
 - SET STORM SEWER MANHOLE FRAS TO MATCH FINISH GRADE.
 - STORM SEWER INLETS SHALL BE PARK EQUIPMENT CATCH BASINS.
 - CONCRETE PIPE SHALL BE BEDDED WITH CEMENT STABILIZED SAND IN ACCORDANCE WITH CITY OF HOUSTON SPECIFICATIONS FOR CONCRETE PIPE.
 - PVC PIPE SHALL BE BEDDED WITH A MINIMUM OF ONE FOOT OF CEMENT STABILIZED SAND. CEMENT STABILIZED SAND SHALL BE LAY IN 6" LIFTS COMPOSED TO 98% STD. PROCTOR MAX. DRY DENSITY (ASTM D998).
 - EXISTING PAVEMENTS, CURBS, SIDEWALKS, AND DRIVEWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED TO THE CITY OF HOUSTON STANDARDS.
 - CONDITION OF THE ROAD AND/OR RIGHT-OF-WAY, UPON COMPLETION OF JOB, SHALL BE AS GOOD AS OR BETTER THAN THE CONDITION PRIOR TO STARTING WORK.
 - ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ANY DRAINAGE DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO THE SATISFACTION OF THE DRAINAGE AUTHORITY.
 - CONTRACTOR SHALL VERIFY ADJACENT PROPERTY DRAINAGE PATTERNS. CONTACT ENGINEER IF ANY DRAINAGE PATTERN OBSTRUCTIONS OCCUR PRIOR TO ANY CONSTRUCTION.

- NOTES:**
- WHEN CONCRETE IS PLACED OVER AN EASEMENT A SAWCUT OR EXPANSION JOINT MUST BE PLACED AT THE EASEMENT LINE AND CROSS THE EASEMENT EVERY 10'.
 - ALL PROPOSED CURVES ARE OF TYPICAL U.L.G. ON PLANS. CONTRACTOR SHALL CONTACT ENGINEER/ARCHITECT IF CURB DEPTH EXCEEDS 6".
 - OVERHEAD AND UNDERGROUND UTILITIES MAY EXIST IN THE VICINITY OF THIS PROJECT. LOCATIONS SHOWN FOR EXISTING UTILITIES ARE APPROXIMATE AND OTHER UTILITIES MAY EXIST IN THE VICINITY OF THE PROJECT WHICH ARE NOT SHOWN ON THE PLANS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES IN THE VICINITY OF THE PROJECT, PRIOR TO BEGINNING CONSTRUCTION, IF ANY DISCREPANCIES EXIST, NOTIFY ENGINEER IMMEDIATELY.
 - OWNER TO OBTAIN ALL PERMITS REQUIRED BY OF CITY OF ALVIN, TEXAS PRIOR TO STARTING CONSTRUCTION OF UTILITY AND/OR GULVERTS IN RIGHT-OF-WAY.
 - CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS BY REGULATIONS OF CITY OF ALVIN, TEXAS FOR FLOOD PLAIN MANAGEMENT PRIOR TO STARTING CONSTRUCTION.
 - CONTRACTOR SHALL FIELD-VERIFY EXISTING DRAINAGE PATTERNS ON ADJACENT PROPERTIES, AND INFORM ENGINEER IMMEDIATELY OF ANY DISCREPANCIES THAT MAY AFFECT THE WORK DESCRIBED HERE-IN, PRIOR TO ANY CONSTRUCTION.
 - CONTRACTOR SHALL REVIEW ARCHITECTURAL AND CIVIL DRAWINGS JOINTLY, TO ENSURE COORDINATION OF ALL PHASES OF CONSTRUCTION DESCRIBED IN THESE DRAWINGS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF BOTH ARCHITECT AND ENGINEER, PRIOR TO PROCEEDING WITH CONSTRUCTION WORK.
 - CONTRACTOR SHALL FIELD-VERIFY ALL EXISTING DIMENSIONS & CONDITIONS & SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCIES THAT MAY AFFECT THE WORK DESCRIBED HEREIN.
 - CONTRACTOR SHALL ENSURE THAT THE SITE'S STORM DRAINAGE SYSTEM IS KEPT CLEAN, FREE OF BLOCKAGES & OBSTRUCTIONS AND IN PROPER WORKING ORDER DURING AND AFTER CONSTRUCTION ACTIVITIES.

- TRAFFIC AND TRANSPORTATION NOTES**
- CONTRACTOR SHALL PROVIDE AND INSTALL TRAFFIC CONTROL DEVICES IN CONFORMANCE WITH PART 4 OF THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TEXAS MULTICAL, MOST RECENT EDITION WITH REVISIONS) DURING CONSTRUCTION.
 - NO LANES SHALL BE CLOSED DURING THE HOURS OF 7:00 AM TO 9:00 AM AND 4:00 PM TO 6:00 PM MONDAY THRU FRIDAY ON MAJOR THROUGH-FARES.
 - NO WORK ON RESIDENTIAL STREETS FROM 7:00 PM TO 7:00 AM, SEVEN DAYS A WEEK.
 - CONTRACTOR SHALL COVER OPEN EXCAVATIONS WITH STEEL PLATES ANCHORED PROPERLY DURING NON-WORKING HOUR AND OPEN LANES FOR NORMAL TRAFFIC FLOW.
 - OFF DUTY UNIFORM POLICE OFFICERS/CERTIFIED FLAGGERS IS/ARE REQUIRED TO DIRECT TRAFFIC WHEN LANES ARE CLOSED.
 - IN THE EVENT WHEN NO "TRAFFIC CONTROL PLANS" EXIST AS A PART OF CONTRACT DRAWINGS, CONTRACTOR MAY PREPARE THE PLANS AND SUBMIT TO TRAFFIC PLAN REVIEW SECTION, FOR APPROVAL.
 - ALL TRAFFIC CONTROL DEVICES USED AT NIGHT SHALL BE REFLECTORIZED OR ILLUMINATED.
 - CONTRACTOR SHALL MAINTAIN LOCAL DRIVEWAY ACCESS TO RESIDENTIAL AND COMMERCIAL PROPERTIES ADJACENT TO WORK AREA AT ALL TIMES.
 - CONTRACTOR SHALL NOTIFY FIRE, POLICE, METROPOLITAN TRANSIT AUTHORITY, AND SCHOOLS FIVE WORKING DAYS PRIOR TO IMPLEMENTATION FOR TRAFFIC CONTROL.

- DRIVEWAY NOTES**
- PROPOSED DRIVEWAY SHALL MATCH EXISTING STREET.
 - PROPOSED DRIVEWAY SHALL BE CONSTRUCTED WITH PORTLAND CEMENT CONCRETE, 5 SACK COARSE PORTLAND CEMENT SAND, 7 INCHES THICK, FROM PROPOSED SAW CUT TO RIGHT-OF-WAY LINE (PROPERTY LINE).
 - PROPOSED DRIVEWAY REINFORCING STEEL IS TO BE #4 DEFORMED REINFORCING BARS (ASTM A615 GRADE 60, UNLESS NOTED) SPACED AT 24 INCHES C.C., EACH WAY, WITH 18 INCHES MINIMUM LAP (IF $\geq 12"$ TO $\geq 18"$ AS ALTERNATE) FROM PROPOSED SAW CUT TO RIGHT-OF-WAY LINE.
 - PROPOSED DRIVEWAY REINFORCING STEEL IS TO BE TIED TO EXISTING ROADWAY REINFORCING STEEL WITH A MINIMUM LAP OF 8 INCHES.
 - SAW CUT EXISTING CURB AT EACH END AND KNOCK OUT CURB FROM BEGINNING TO END OF PROPOSED DRIVEWAY.
 - SAW CUT EXISTING PAVEMENT A MINIMUM OF 12 INCHES AWAY FROM FACE OF CURB (OUTER LINE) AND BREAK OUT TO EXPOSE EXISTING REINFORCING STEEL.
 - COMPACT SUBGRADE FOR PROPOSED DRIVEWAY CONNECTION FROM PROPOSED SAW CUT AT EXISTING PAVEMENT TO RIGHT-OF-WAY LINE, COMPACT TO 95% OF STANDARD PROCTOR DENSITY (+/- 2% OPT. MOISTURE).
 - REINFORCING STEEL TO BE ELEVATED A MINIMUM OF 3" ABOVE SUBGRADE (3 INCH MANUFACTURED CHAIRS ARE REQUIRED WITH MAXIMUM SPACING OF 72 INCHES C. C. E. I.).



T.B.P.E. FIRM # 19146
 INQUIRY@CEENGINEERS.COM
 WWW.CEENGINEERS.COM
 (0) 832-491-1458

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RETAIL @ 301 FM 517
 FM 517 @ BORDEN GULLY DRIVE
 DICKINSON, TX, 77539



REVISIONS	
No.	DESCRIPTION

GENERAL NOTES	
Scale: 1/8"=1'-0"	Date: 06-17-20
Version: N/A	CEEDC File Name: 191045C70
Project Number: 19-1045	Date: 06-17-20
Designed By: CW	Date: 06-17-20
Checked By: CW	Date: 06-17-20

PROPOSED DRIVEWAY @ FM 517
 DRAWING: C7.0
 SHEET: 7 / 7

Planning & Zoning Commission

ITEM 7

**Dickinson Planning & Zoning Commission
Agenda Item Data Sheet**

MEETING DATE: August 18, 2020

TOPIC: **CONSIDERATION AND POSSIBLE ACTION REGARDING:** A Request for Preliminary Plat Approval for Peacock Isles, a Subdivision of Approximately 13.006 Acres Legally Described as ABST 19 PERRY & AUSTIN SUR PT OF LOTS 157,184 & ABDN RD (0-3) DICKINSON ADDN D, On Property Zoned “CR” (Conventional Residential) Consisting Of 53 Lots, 2 Blocks And 1 Reserve, In The City Of Dickinson, Galveston County, Texas, With the Current Address for the Property Being 2010 East FM 517.

BACKGROUND: The proposed Peacock Isles Subdivision is located generally south of FM 517 East, almost equidistant between Fatta Drive and Wagon Road. The overall development is approximately 13.006 acres and, at build-out, is planned for 53 residential lots and 1 park reserve.

Section 1 was approved in November, 2004 and consisted of 152 lots. Section 2A was approved on January 11, 2011, and contained 58 residential lots. Section 3 was approved on August 26, 2014.

- *Access* – This site is accessed via FM 517 East, but if approved, could also be accessed via Kristen Drive.
- *Zoning History* – Since the inception of zoning, this property has been zoned “CR” Conventional Residential.

For Commission Consideration

According to Section 212.010 of the Texas Local Government Code, the Planning and Zoning Commission shall approve a plat if:

- (1) The preliminary plat confirms to the general plan of the municipality and its current and future streets, alleys, parks, playgrounds, and public utility facilities. **Staff finds that this plat conforms to these plans.**
- (2) The plat conforms to the general plan for the extension of the municipality and its roads, streets, and public highways within the municipality and in its extraterritorial jurisdiction, taking into account access to and extension of

ACTIONS TAKEN

<p>APPROVAL <input type="checkbox"/> YES <input type="checkbox"/> NO</p>	<p>OTHER</p>
--	---------------------

**Dickinson Planning & Zoning Commission
Agenda Item Data Sheet**

sewer and water mains and instrumentalities of public utilities. **Staff finds that the plat conforms.**
(3) The plat conforms to the rules adopted by the municipality governing plats and subdivisions of land within the municipality's jurisdiction to promote the health, safety, morals, or general welfare of the municipality and the safe, orderly, and healthful development of the municipality. **Staff finds that the plat conforms.**

RECOMMENDATION: **Staff Recommends Approval of the Proposed Plat.**

ATTACHMENTS:

- Plat Application
- City Planning Letters
- Property Owner Affidavit
- Preliminary Plat for Peacock Isles

SUBMITTING STAFF MEMBER: Alun W. Thomas, City Secretary, by request from S. R. Burgess, Chief Building Official

ACTIONS TAKEN

APPROVAL <input type="checkbox"/> YES <input type="checkbox"/> NO	OTHER
---	--------------



20200540
\$2,100.00

COMMUNITY DEVELOPMENT
APPLICATION FOR PLAT APPROVAL

Preliminary Plat Final Plat Re-plat Amending Plat Minor Plat
PROPERTY

Address 2010 E. FM 517 DICKINSON TX. 77539

Legal Description (as stated on Recorded Deed)
PART OF LOTS 157 & 184 ADDITION D TO THE TOWN OF DICKINSON AND THE BENSON HOMESTEAD

Present Zoning CR Proposed Subdivision Name PEACOCK ISLES

Number of Residential Lots 53 Acres of Nonresidential Reserve 1

OWNER

Name(s) SEABROOK MIJA LLC

Mailing Address (Street, City, State, Zip) PO BOX 1244 FRIENDSWOOD TX. 77546

Phone # 281-648-2425 Other (Fax, Phone, Email)

APPLICANT/AGENT

Name(s) GERRY WEISER, ELLIS SURVEYING SERVICES

Mailing Address (Street, City, State, Zip) 2805 25TH AVE N. TEXAS CITY, TX. 77590

Phone # 409-938-8700 Other (Fax, Phone, Email)

- A notarized letter of authorization from the property owner(s) must be attached.

ATTACHMENTS

- Preliminary Plats: 2- 24" X 36"
- Final Plats: 2- 24" X 36"
- Re-plats/Amending Plats/Minor Plat: 2- 24" X 36"
- Application Fee (Note) – Fees are assessed at preliminary Plat application and again at final plat application.
 - Residential:
 - \$95 plus \$2.50 per residential lot
 - Commercial:
 - \$95.00 plus
 - \$25.00 0 – 1 acre;
 - \$150.00 1 – 5 acre;
 - \$300.00 5 -10 acre + \$30.00 per acre in excess of 10 acres.

Once the completeness review is accomplished 9 drawing sets (24" X 36") are required to proceed to the planning & Zoning Commission.

I hereby certify that the above information is true to the best of my knowledge.

SIGNATURE (Applicant/Owner)



Integrity Title

CITY PLANNING LETTER

August 6, 2020
Effective Date: July 27, 2020

Job No. 2035082A
Ref: Tract 1

STATE OF TEXAS:
COUNTY OF GALVESTON:

THIS IS TO CERTIFY: That after a careful examination of the records in the offices of the Clerk of this County (excluding U. C. C. Records), as to the property described as follows:

A tract of land out of and being a part of 184 lying West of Benson Bayou and that part Lot 157 South of Pine Drive (F.M. 517) and lying West of Benson Bayou and the 70 foot road lying West of and adjacent to Lot 157 and 184, all in ADDITION "D" TO THE TOWN OF DICKINSON, a subdivision in Galveston County, Texas, according to the map or plat thereof recorded in Volume 155, Page 10 in the office of the County Clerk of Galveston County, Texas and described in the metes and bounds of that certain General Warranty Deed dated August 30, 1995, from Carmen A. Graham, Receiver Per Order Dated February 1, 1994 in the 306th Judicial District Court of Galveston, State of Texas and recorded under Galveston County Clerk's File 9534031.

We find the record title to be apparently in:

HAL B. FULLERTON

By virtue of that certain General Warranty Deed dated August 30, 1995, from Carmen A. Graham, Receiver Per Order Dated February 1, 1994 in the 306th Judicial District Court of Galveston, State of Texas and recorded under Galveston County Clerk's File 9534031.

Subject to the following liens:

None found.

Subject to the following easements and encumbrances:

Easements and building setback lines as shown in Volume 155, and transferred to Volume 7, Page 1D and Volume 254-A, Page 83 and transferred to Volume 6, Page 55A of the Map Records of Galveston County, Texas.

Right of Way Deed granted to the County of Galveston as set forth in the instrument recorded in Volume 835, Page 167 of the Deed Records of Galveston County, Texas.



Integrity Title

Subject to the following restrictions:

None

We have made no examination as to special assessments or conflicts.

INTEGRITY TITLE COMPANY LLC

Sonny Livesay

JC

LIMITATION OF LIABILITY: THE LIABILITY OF EITHER PARTY WITH RESPECT TO THIS INFORMATION OR ANY ACT IN CONNECTION HERewith WHETHER IN CONTRACT, TORT, OR OTHERWISE, SHALL NOT EXCEED THE PRICE OF THE SERVICES OR PRODUCTS SOLD HEREUNDER OR THE PRICE OF THAT PORTION OF SUCH SERVICES OR PRODUCTS ON WHICH LIABILITY IS ASSERTED. INTEGRITY TITLE COMPANY LLC MAKES NO WARRANTY WHATSOEVER, EXPRESS, IMPLIED OR STATUTORY, AS TO THE QUALITY, FITNESS, SUITABILITY, CONFORMITY, OR MERCHANTABILITY OF THE SERVICES OR PRODUCTS SOLD.



Integrity Title

CITY PLANNING LETTER

August 6, 2020
Effective Date: July 27, 2020

Job No. 2035083A
Ref: Tract 2

STATE OF TEXAS:
COUNTY OF GALVESTON:

THIS IS TO CERTIFY: That after a careful examination of the records in the offices of the Clerk of this County (excluding U. C. C. Records), as to the property described as follows:

0.393 acres, more or less, that part of the Benson Homestead Tract West of Bayou Benson in the Town of Dickinson and being out of the Perry & Austin Lower League, Galveston County.

We find the record title to be apparently in:

HAL B. FULLERTON

By virtue of that certain Deed Without Warranty dated August 30, 1995, from Carmen A. Graham, Receiver Per Order Dated February 1, 1994 in the 306th Judicial District Court of Galveston, State of Texas and recorded under Galveston County Clerk's File No. 9534030.

Subject to the following liens:

None found.

Subject to the following easements and encumbrances:

Easements and building setback lines as shown in Volume 155, and transferred to Volume 7, Page 1D and Volume 254-A, Page 83 and transferred to Volume 6, Page 55A of the Map Records of Galveston County, Texas.

Right of Way Deed granted to the County of Galveston as set forth in the instrument recorded in Volume 835, Page 167 of the Deed Records of Galveston County, Texas.

Right of Way Easement dated July 31, 1950, granted to Galveston County, Texas and recorded in Volume 911, Page 585 of the Deed Records of Galveston County, Texas.



Integrity Title

Right of Way Easement dated July 31, 1950, granted to Galveston County, Texas and recorded in Volume 911, Page 585 of the Deed Records of Galveston County, Texas.

Subject to the following restrictions:

We have made no examination as to special assessments or conflicts.

INTEGRITY TITLE COMPANY LLC

Sonny Livesay

JC

LIMITATION OF LIABILITY: THE LIABILITY OF EITHER PARTY WITH RESPECT TO THIS INFORMATION OR ANY ACT IN CONNECTION HEREWITH WHETHER IN CONTRACT, TORT, OR OTHERWISE, SHALL NOT EXCEED THE PRICE OF THE SERVICES OR PRODUCTS SOLD HEREUNDER OR THE PRICE OF THAT PORTION OF SUCH SERVICES OR PRODUCTS ON WHICH LIABILITY IS ASSERTED. INTEGRITY TITLE COMPANY LLC MAKES NO WARRANTY WHATSOEVER, EXPRESS, IMPLIED OR STATUTORY, AS TO THE QUALITY, FITNESS, SUITABILITY, CONFORMITY, OR MERCHANTABILITY OF THE SERVICES OR PRODUCTS SOLD.



PROPERTY OWNER AFFIDAVIT

I, HAL B. FULLERTON, do hereby certify that I/we am/are the owner(s) of record for the property located at 2010 FM 517 EAST, Dickinson, Texas 77539. I/we hereby certify that I/we am/are aware that permit(s) are being requested from the City of Dickinson by BAYWAY HOMES, INC. who resides at 1414 S. FRIENDSWOOD DR. BLDG D FRIENDSWOOD, TX and that I/we have authorized such request for the property identified above. 77546

Hal Fullerton
Signature of Property Owner

Signature of Property Owner

HAL B. FULLERTON
Printed Name of Property Owner

Printed Name of Property Owner

Date: 8/6/2020

Date: _____

ACKNOWLEDGMENT

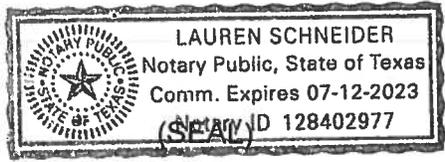
THE STATE OF Texas §
COUNTY OF Galveston §

BEFORE ME, the undersigned authority, on this day personally appeared HAL B. FULLERTON, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that (s)he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE on this 10th day of August 2020.

Lauren Schneider
Notary Public In and For the State of Texas

My Commission Expires: 7-12-2023



Administrative Plat Permit

City of Dickinson

4403 Highway 3

Dickinson, TX 77539

(281) 337-6259 Voice

(281) 337-6190 Fax



Project #: 20200538

Issue Date: 08/10/2020

Location: 2010 E FM 517 RD

City, State, Zip: DICKINSON, TX 77539

Legal: ABST 19 PERRY & AUSTIN SUR PT OF LOTS

157,184 & ABDN RD (0-3) DICKINSON ADDN D

*SBPCL: 301501570000004***DEFERRAL***

Applicant: Charles Anders

Owner: FULLERTON HAL B

Tenant:

Address: 2010 E FM 517 RD

City, State, Zip: DICKINSON, TX 77539-8653

Project Description: Preliminary Plat; part of lots 157 & 184 Addition D to the town of Dickinson and the Benson Hpmestead

Flood Plain: AE

Hurricane Harvey Grant Program:

Square Feet: 0

Valuation: 0

Zoning: Administrative Plat

Contractors:

Name: Homeowner

Address:

C/S/Z:

Email:

Phone:

Cell Phone

Payment Date	Paid By	Description	Amount
08/10/2020	Charles Anders	Check #4594 & Ck. #002167	\$2,100.00

Total Paid: \$2,100.00

1. All work must be done in compliance with the International Residential Code (IRC) and National Electrical Code (NEC)
2. A copy of the approved plans must be on site at all times.
3. The project address must be clearly posted at the job site.

I hereby certify by my signature below that the information provided is true and correct to the best of my knowledge and that the stated value of construction includes all materials, equipment, labor, overhead and profit. I further agree to adhere to all City, State and Federal laws regarding the work to be performed.

Call (281) 337-6276 to schedule a inspection.

Applicant Signature

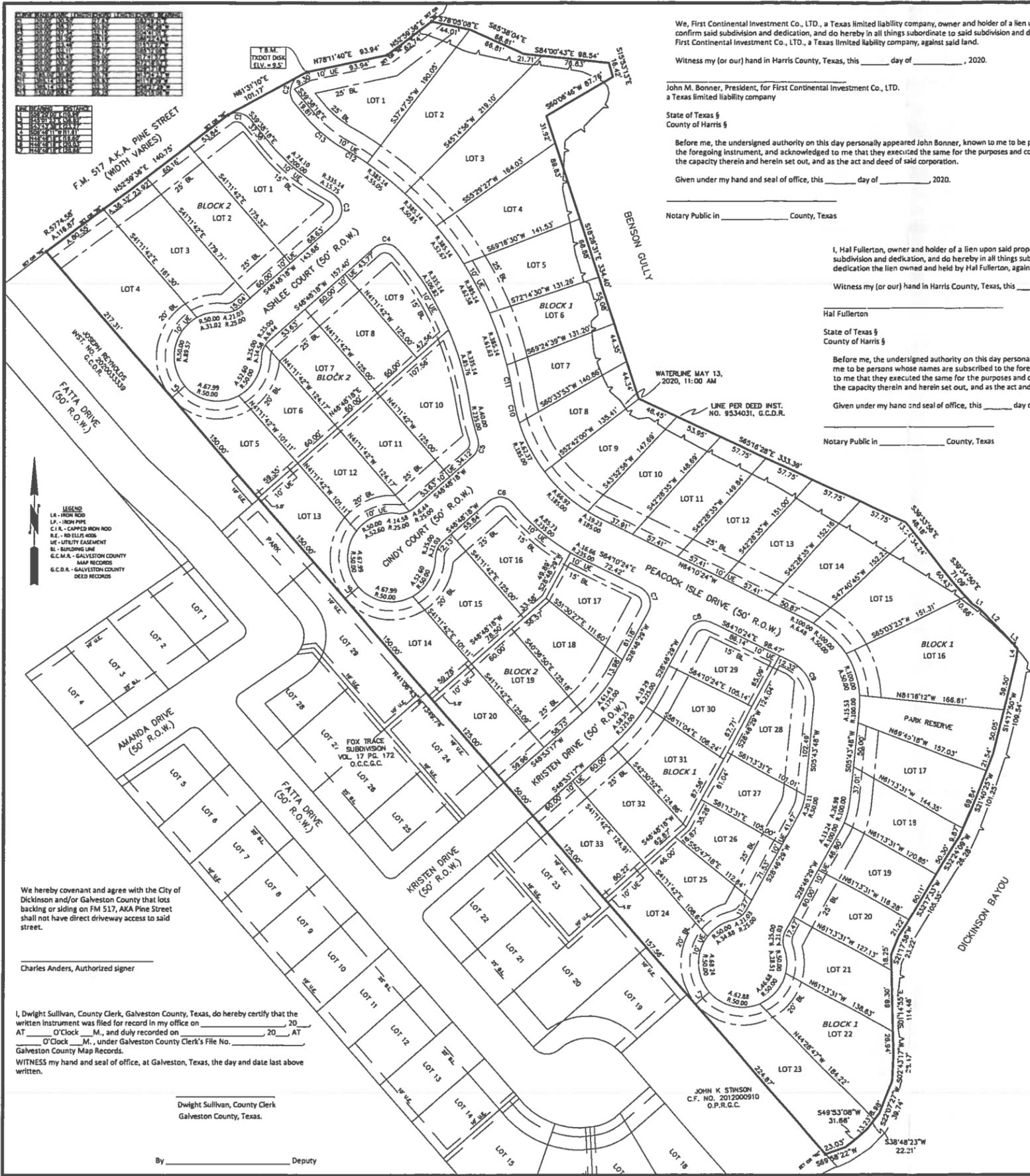
08/10/2020

Date

Owner/Agent Signature

08/10/2020

Date



NO.	DESCRIPTION	DATE
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LEGEND
 LR - IRON ROD
 LP - IRON PIPE
 C.P.R. - CAPPED IRON ROD
 R.E. - IRON ELEVATION
 U.E. - UTILITY EASEMENT
 B.L. - BOUNDING LINE
 G.C.M.R. - GALVESTON COUNTY MAP RECORDS
 G.C.D.R. - GALVESTON COUNTY DEED RECORDS

We hereby covenant and agree with the City of Dickinson and/or Galveston County that lots backing or siding on FM 517, AKA Pine Street shall not have direct driveway access to said street.

Charles Anders, Authorized signer

I, Dwight Sullivan, County Clerk, Galveston County, Texas, do hereby certify that the written instrument was filed for record in my office on _____ 20____ AT _____ O'Clock _____ M., and duly recorded on _____ 20____ AT _____ O'Clock _____ M., under Galveston County Clerk's File No. _____ Galveston County Map Records.

WITNESS my hand and seal of office, at Galveston, Texas, the day and date last above written.

Dwight Sullivan, County Clerk
Galveston County, Texas.

By _____ Deputy

We, First Continental Investment Co., LTD., a Texas limited liability company, owner and holder of a lien upon said property, do hereby ratify and confirm said subdivision and dedication, and do hereby in all things subordinate to said subdivision and dedication the lien owned and held by First Continental Investment Co., LTD., a Texas limited liability company, against said land.

Witness my (or our) hand in Harris County, Texas, this _____ day of _____, 2020.

John M. Bonner, President, for First Continental Investment Co., LTD.
a Texas limited liability company

State of Texas §
County of Harris §

Before me, the undersigned authority on this day personally appeared John Bonner, known to me to be persons whose names are subscribed to the foregoing instrument, and acknowledged to me that they executed the same for the purposes and consideration therein expressed, and in the capacity therein and herein set out, and as the act and deed of said corporation.

Given under my hand and seal of office, this _____ day of _____, 2020.

Notary Public in _____ County, Texas

I, Hal Fullerton, owner and holder of a lien upon said property, do hereby ratify and confirm said subdivision and dedication, and do hereby in all things subordinate to said subdivision and dedication the lien owned and held by Hal Fullerton, against said land.

Witness my (or our) hand in Harris County, Texas, this _____ day of _____, 2020.

Hal Fullerton

State of Texas §
County of Harris §

Before me, the undersigned authority on this day personally appeared Hal Fullerton, known to me to be persons whose names are subscribed to the foregoing instrument, and acknowledged to me that they executed the same for the purposes and consideration therein expressed, and in the capacity therein and herein set out, and as the act and deed of said corporation.

Given under my hand and seal of office, this _____ day of _____, 2020.

Notary Public in _____ County, Texas

STATE OF TEXAS
COUNTY OF GALVESTON

We, Seabrook Mija LLC, owner of the property subdivided in the foregoing map of the Peacock Isles, do hereby make a subdivision of said property according to the lines, streets, alleys, parks, building lines, and easements therein shown, and designate said subdivision as Peacock Isles, Galveston County, Texas, and dedicate to public use, as such, the streets, alleys, parks, and easements shown thereon forever; and do hereby waive any claims for damages occasioned by the establishing of grades as approved for the streets and alleys dedicated, or occasioned by the alteration of the surface of any portion or [of] streets or alleys to conform to such grades; and do hereby bind ourselves, our successors and assigns to warrant and forever defend the title to the land so dedicated.

Charles Anders, Authorized signer

It is understood that if the final plans for Peacock Isles, are approved by the City of Dickinson, the undersigned will in all things comply with all provisions of such plat and construction plans and will duly perform all construction called for therein, fully and completely. No changes will be made in construction plans without the consent in writing of the Planning Commission being first had and obtained.

Charles Anders, Authorized signer

STATE OF TEXAS
COUNTY OF GALVESTON

BEFORE ME, the undersigned authority, on this day personally appeared Charles Anders, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein described.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, this _____ day _____, 20____.

Notary Public for the State of Texas
My Commission Expires _____

This is to certify that the owners of Peacock Isles, have complied with all the conditions necessary as provided by law in Amending the above property.

CERTIFIED by the Planning Commission of the City of Dickinson one the _____ day of _____, 20____, A.D.

Chairman of the City of Dickinson
Planning Commission

Secretary of the City of Dickinson
Planning Commission

BEING a 13.6596 acre (595,013 Sq. Ft.) tract of land and being a part of and out of a 70' abandoned road, Lot 184 and Lot 157, in Addition "D" to the Town of Dickinson, a subdivision in Galveston County, Texas according to the map or plat thereof recorded in Volume 7, Page 1, of the Galveston County, Map Records, and a tract of land and being a part of and out of The Benson Homestead Tract on the west side of Benson Bayou, situated in the Perry and Austin Lower League, Abstract 19, Galveston County, Texas, and being that same tract of land conveyed to Hal B. Fullerton as described in Instrument No. 9534030, of the Deed Records of Galveston County, Texas, said 13.6596 acre tract being more particularly described by metes and bounds as follows:

BEGINNING at the point of Intersection of the west line of said 70' Abandoned Road with the south right of way line of FM 517, also commonly known as Pine Street (Width varies) same being the most northerly corner of a tract of land conveyed to Joseph Reynolds, as described in Instrument No. 2020033339, of the Galveston County Deed Records, and being in a curve to the right having a radius of 5774.87;

THENCE in an easterly direction, along the south right of way line of said FM 517 and said curve to the right, an arc distance of 116.87', (Chord bearing: N 54°07'50" E 116.87') to a capped iron rod set for an angle point of the tract herein described;

THENCE N 52°59'36" E and continuing along and with the south right of way line of said FM 517, a distance of 140.75' to a 2" iron pipe found for an angle point of the tract herein described;

THENCE N 61°31'10" E and continuing along and with the south right of way line of said FM 517, a distance of 101.17' to a TXDOT brass disk found for an angle point of the tract herein described;

THENCE N 78°11'40" E and continuing along and with the south right of way line of said FM 517, a distance of 93.94' to a capped iron rod set for an angle point of the tract herein described;

THENCE N 52°59'36" E and continuing along and with the south right of way line of said FM 517, a distance of 62.74' to a point as described as being in said instrument No. 9534031, as being the original west shoreline of Benson Bayou;

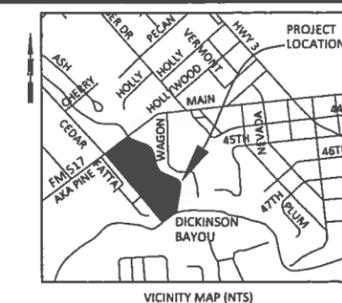
THENCE along the original west shoreline of Benson Bayou as described in said Instrument No. 9534031 the following meanders:

S 78°05'08" E, a distance of 44.01';
 S 65°38'04" E, a distance of 66.81';
 S 84°00'43" E, a distance of 98.54';
 S 15°53'13" E, a distance of 16.42';
 S 60°06'46" W, a distance of 87.76';
 S 18°26'31" E, a distance of 334.40';
 S 65°16'28" E, a distance of 333.39';
 S 39°33'56" E, a distance of 48.18';
 S 39°34'50" E, a distance of 71.09' to a point;
 S 56°20'00" E, a distance of 10.99' to a point;
 S 48°01'23" E, a distance of 38.82' to a point;
 S 43°43'38" E, a distance of 23.27' to a point for the most easterly corner of the tract herein described and being in the original north shoreline of Dickinson Bayou as described in said Instrument No. 9534031;

THENCE along the north shoreline of said Dickinson Bayou as described in said Instrument No. 9534031, the following meanders:

S 06°46'11" W, a distance of 11.61';
 S 14°17'50" W, a distance of 109.54';
 S 21°40'25" W, a distance of 101.25';
 S 32°24'09" W, a distance of 26.28';
 S 32°17'33" W, a distance of 105.35';
 S 21°17'58" W, a distance of 23.22';
 S 01°14'55" E, a distance of 114.48';
 S 02°43'17" W, a distance of 28.47';
 S 22°07'27" W, a distance of 39.74';
 S 38°48'23" W, a distance of 22.21';
 S 49°53'08" W, a distance of 31.66';
 S 69°58'22" W, a distance of 23.03' to a point for the most southerly corner in the west line of the tract herein described, same being the west line of said 70' Abandoned Road and also being the east line of a tract of land conveyed to John K. Stinson, as described in Instrument No. 2012000910 of the Deed Records of Galveston County, Texas;

THENCE N 41°06'43" W along and with the west line of said 70' Abandoned Right of way, a distance of 1349.74' to the POINT OF BEGINNING of the tract herein described.



- GENERAL NOTES:**
- 1) All shown bearings referenced to Grid North, Texas State Coordinate System NAD83, Texas South Central Zone.
 - 2) This property is located in Zones "AE" with a BFE of 14.0' according to FEMA FIRM Map No. 48167C0235G dated 08-15-2019.
 - 3) This property lies within the Dickinson Independent School District.
 - 4) All of the property subdivided in the foregoing plat is within the incorporated boundaries of the City of Dickinson, Texas.
 - 5) Side Setbacks on all interior Lots shall have a minimum width of 10% of lot width or 5.0', whichever ever is greater.
 - 6) Rear Setbacks on all Lots shall have a minimum width of 25.0'.
 - 7) This plat does not attempt to amend or remove any covenants or restrictions.

OWNER / DEVELOPER
Bayway Homes, Inc.
P.O. Box 1244
Friendswood, Tx. 77546
281-648-2425

ELLIS
SURVEYING SERVICES, LLC.

2805 25th Ave N Texas City, TX 77590
Tel: (409) 938-8700 Fax (866) 678-7685
Texas Firm Reg. No. 100340-00

This is to certify that I, Robert D. Ellis, a Registered Professional Land Surveyor for the State of Texas have plotted the above subdivision from an actual survey made on the ground, and that all corners have been properly marked as shown on this plat.

Preliminary, this document shall not be recorded for any purpose and shall not be used or viewed or relied upon as a final survey document.

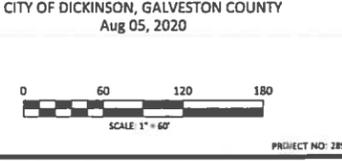
Robert D. Ellis, RPLS
Tex. Reg. No. 4006

**PRELIMINARY PLAT OF
PEACOCK ISLES**

Being a part of and out of a 70' abandoned road, Lot 184 and Lot 157, in Addition "D" to the Town of Dickinson, Volume 7, Page 1, G.C.M.R., and being a part of The Benson Homestead Tract on the west side of Benson Bayou, situated in the Perry and Austin Lower League, Abstract 19, Galveston County, Texas, and being that same tract of land conveyed to Hal B. Fullerton as described in Instrument No. 9534030, G.C.D.R.

CONTAINING
13.6596 ACRES (595,013 SQ. FT.)
AND BEING
53 LOTS, 2 BLOCKS, 1 RESERVE

CITY OF DICKINSON, GALVESTON COUNTY
Aug 05, 2020



Planning & Zoning Commission

ITEM 8

Adjourn